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MAYOR

TOWN COUNCIL
CHAUNCEY CLARK, MAYOR PRO TEM
SARAH CHURCH
MARK HOWARD
RITA LANGLEY
SUSAN MIDDAGH
BACHMAN SMITH, IV

TOWN OF SULLIVAN'S ISLAND



ANDY BENKE
TOWN ADMINISTRATOR

JASON BLANTON
DEPUTY ADMINISTRATOR/COMPTROLLER

LAWRENCE A. DODDS
TOWN ATTORNEY

GREG GRESS
WATER AND SEWER MANAGER

JOE HENDERSON
ZONING ADMINISTRATOR

DANIEL S. HOWARD
CHIEF OF POLICE

ELLEN MILLER
TOWN CLERK

RANDY ROBINSON
BUILDING OFFICIAL

M. ANTHONY STITH
FIRE CHIEF

BOARD OF ZONING APPEALS

Thursday, June 9, 2016
6:00 P.M. Town Hall

- A. CALL TO ORDER AND NOTIFICATION THAT FREEDOM OF INFORMATION ACT REQUIREMENTS ARE MET
- B. APPROVAL OF MINUTES FROM MAY 12, 2016
- C. APPLICANT AND PARTICIPANT OATH
- D. SPECIAL EXCEPTION REQUESTS
 - 1. 2668 Goldbug Avenue: Allen Porter, applicant, requests approval for the RS District Historic Special Exception in accordance with Z.O. §21-20 C. (2) and Z.O. §21-178, and a variance from the RC-2 setback requirements of Z.O. §21-23 E. (1)(b). (TMS# 529-07-00-008)
- E. ITEMS FOR CONSIDERATION
- F. PUBLIC INPUT
- G. ADJOURN

**Town of Sullivan's Island
NOTICE OF APPEAL-FORM 1
BOARD OF ZONING APPEALS**

Date Filed: 5/13/16 Permit Application No. _____ Appeal No. _____

This form must be completed on a hearing on appeal from action of a zoning official, application for a variance, or application for special exception. Entries must be printed or typewritten. If the application is on behalf of the property owner(s), all owners must sign. If the applicant is not an owner, the owner(s) must sign the Designation of Agent.

An accurate, legible plot plan showing property dimensions and locations of structures and improvements must be attached to an application for variance or special exception.

THE APPLICANT HEREBY APPEALS [indicate one]:

- From action of a zoning official as stated on attached Form 2
- For a variance as stated on attached Form 3
- For a special exception as stated on attached Form 4

APPLICANT [print] Allen S. Porter / Summer D. Eudy

MAILING ADDRESS: 2668 Goldbug Ave

Telephone 843-343-7976/843-530-1351 [work] _____ [home] _____

Interest: owner/rep Owner(s): Allen Porter Adjacent Owner(s) Other _____

[Use reverse side if more space is needed]

PROPERTY ADDRESS: 2668 Goldbug Ave Sullivan's Island, SC 29482

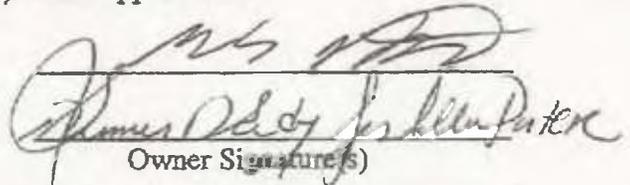
Lot 114E Block _____ Subdivision _____

Tax Map No. 529-67-00-008 Plat Book _____ Page _____

Lot Dimesions: 307 x 286 x 105 approx. Area: 37623

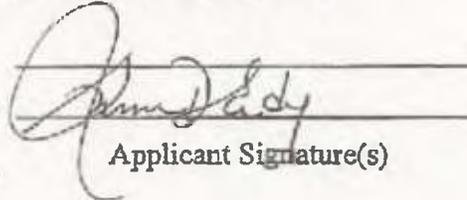
DESIGNATION OF AGENT [complete only if owner is not applicant]: I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this application.

Date: 5/13/16


Owner Signature(s)

I (we) certify that the information in this application and the attached Form 2,3, or 4 is correct.

Date: 5/13/16


Applicant Signature(s)

Submitted as supplemental to special exception request:

**Town of Sullivan's Island
Variance Application – Form 3
Board of Zoning Appeals**

Date Filed: _____ Permit No.: _____ Appeal No.: _____

1. Applicant hereby appeals to the Board of Zoning Appeals for a variance from the strict application to the property described in the Notice of Appeal [Form 1] of the following provisions of the Zoning Ordinance:

21-23(E)(b)

so that a zoning permit may be issued to allow use of the property in a manner shown on the attached plot plan, described as follows: Use as a special exception as permitted under 21-140 and 21-20, permitting a second structure to be built

for which a permit has been denied by a zoning official on the grounds that the proposal would be in violation of the cited section(s) of the Zoning Ordinance.

2. The application of the ordinance will result in unnecessary hardship, and the standards for a variance set by State law and the ordinance are met by the following facts.

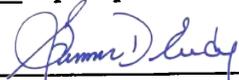
- a. There are extraordinary and exceptional conditions pertaining to the particular piece of property as follows: Existing circa 1925 cottage
- b. These conditions do not generally apply to other property in the vicinity as shown by: Existing historic (modified) cottage to be restored and build to line which restricts building footprint on otherwise large lot, as well as variances on both adjacent properties.
- c. Because of these conditions, the application of the ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property as follows: As permitted under 21-140 and 21-20, as well as based on site lines and set backs established by granting of variances on both adjacent properties
- d. The authorization of the variance will not be of substantial detriment to adjacent property or to the public good, and the character of the district will not be harmed by the granting of the variance for the following reasons: The same variance was permitted on the neighboring properties and will not restrict the neighbors use of their property.

3. The following documents are submitted in support of the application: _____

See attached

A plot plan must be submitted].

Date: 5/3/2016



Applicant's Signature

**Town of Sullivan's Island
Special Exception Application - Form 4
Board of Zoning Appeals**

Date Filed: 5/13/16 Permit No.: _____ Appeal No.: _____

1. Applicant hereby appeals to the Board of Zoning Appeals for a special exception for use of the property described in the Notice of Appeals [Form 1] as: Historic Special Exception

use as accessory Dwelling Unit
which is permitted special exception under the district regulation in Section 21-178 of the Zoning Ordinance. 21-20

2. Applicant will meet the standards in Section 21-140/21-178/21-20 of the Zoning Ordinance which are applicable to the proposed special exception in the following manner: _____

See attached p. 15 power point

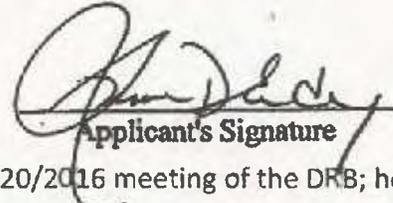
Will meet all Required conditions & deed Restrictions

3. Applicant suggests that the following conditions be imposed to meet the standards in the Zoning Ordinance: See attached & presentation -

4. The following documents are submitted in support of this application: _____

Plans / powerpoint / photos
[A plot plan must be submitted]

Date: 5/13/16


Applicant's Signature

There was no decision made to approve or deny the application at the 4/20/2016 meeting of the DRB; however, based on the discussion, as well as the discussion at the 3/10/2016 BZA meeting, the applicant presents the following and requests approval of the special exception, including an approximate sixty two (62') foot encroachment from the build to line. This is an approximate (20') reduction from the encroachment of the same as shown on the site plan previously submitted to the BZA. This request is in line with the discussions and comments of the Board members at the BZA and DRB meetings, as well as in consideration of the concerns of the neighbors and the conditions created by the variances granted on the two adjacent properties. See attached submittals including: (1) diagonal view lines as would exist WITHOUT modification of the proposed plans as originally submitted to the BZA; (2) Site plan with original house plan and diagonal line as proposed by a Board member of the DRB - which creates a new build-to line at the mid-point of the diagonal as drawn between the two adjacent properties to the applicant - at nineteen feet, three inches (19'3"), behind the original proposed construction; (3) new site plan showing a new build to-line (based on the diagonal); (4) site plan with an approximate building footprint. More detailed house plans are forthcoming; however, due to time constraints, the same is not yet finalized.



Data SIO, NOAA, U.S. Navy, NGA, GEBCO
© 2016 Google

Image © 2016 TerraMetrics

Google earth

2014

Imagery Date: 12/13/2015 32°46'09.75" N 79°49'40.55" W elev 28 ft eye alt 80 ft



Image Landsat
© 2016 Google
Data SIO, NOAA, U.S. Navy, NGA, GEBCO

Google earth

2012

Imagery Date: 3/7/2015 32°46'09.15" N 79°49'40.59" W elev 38 ft eye alt 146 ft



© 2016 Google

Google earth

1989

32°46'11.60" N 79°49'39.93" W elev 3 ft eye alt 623 ft



© 2016 Google

Google earth

1989

32°46'10.88" N 79°49'41.09" W elev 39 ft eye alt 256 ft

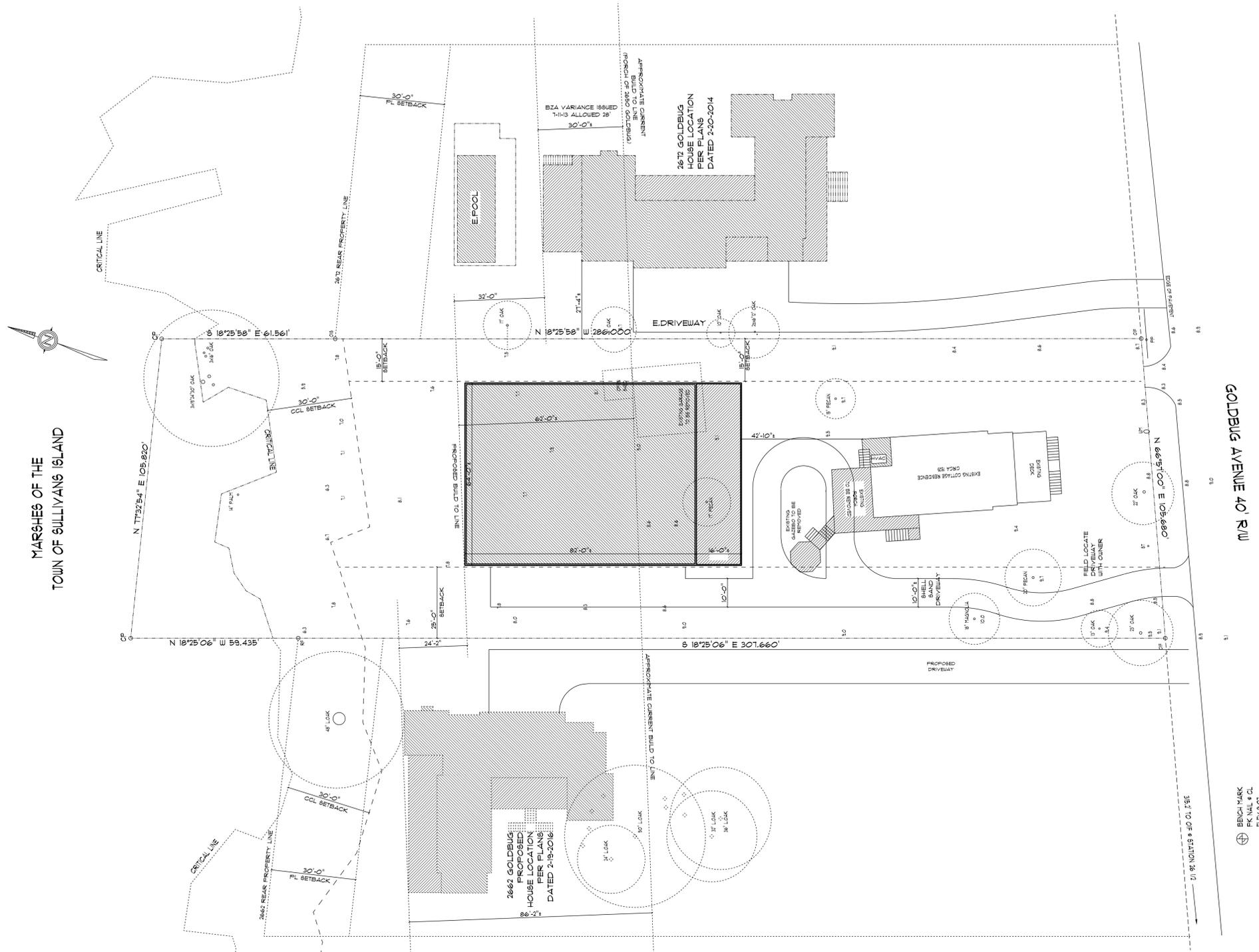


© 2016 Google

Google earth

1989

32°46'17.93" N 79°49'42.55" W elev 3 ft eye alt 2181 ft



MARSHES OF THE
TOWN OF SULLIVANS ISLAND

GOLDBUG AVENUE 40' R/W

SITE PLAN
SCALE: 1" = 20'-0"

THIS PLAN DOES NOT REPRESENT A SURVEY OR A PLAT. IT IS A SITE PLAN TO HELP UNDERSTAND THE PROPOSED CONSTRUCTION. ALL INFORMATION SHOWN HEREIN IS BASED ON THE SURVEY AND SETBACKS TAKEN FROM SURVEY BY JOHN E. WARD, R.S. DATED 11/11/14. THE SURVEY IS FILED IN THE PUBLIC RECORDS OF THE COUNTY OF CHARLESTON, SOUTH CAROLINA. ALL INFORMATION SHALL BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION.

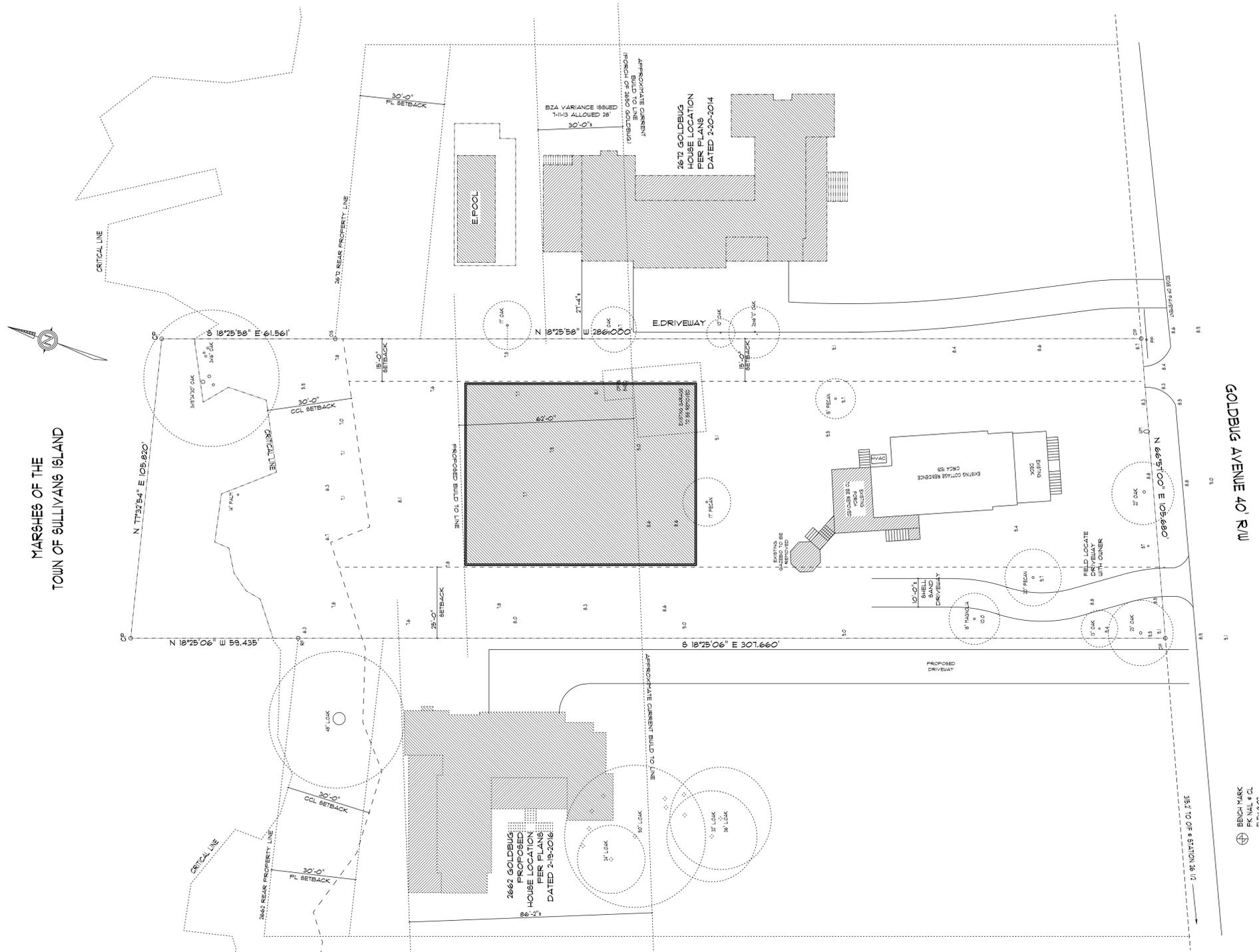
2662 GOLDBUG
PROPOSED
HOUSE LOCATION
PER PLANS
DATED 2-19-2016

2677 GOLDBUG
HOUSE LOCATION
PER PLANS
DATED 2-20-2014

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

MW DESIGN
O) 843-410-8778
M) 843-991-6811
CHARLESTON, SC
29407
WWW.MWDESIGNSC.COM

PLAN NAME	PORTER RESIDENCE
DRAWN BY:	MGW
DATE:	5/12/2016
JOB NO.:	15-2899
TITLE:	
SHEET:	S2



MARSHES OF THE
TOWN OF SULLIVANS ISLAND

GOLDBUG AVENUE 40' R/W

SITE PLAN
SCALE: 1" = 20'-0"

THIS PLAN DOES NOT REPRESENT A SURVEY OR A PLAT. IT IS A SITE PLAN TO HELP UNDERSTAND THE PROPOSED CONSTRUCTION. ALL INFORMATION SHOWN HEREIN IS BASED ON THE SURVEY DATA PROVIDED BY A LICENSED SURVEYOR. BOUNDARIES, EXISTING LOCATIONS, TREES AND SETBACKS TAKEN FROM SURVEY BY JOHN E. WARD, P.E., S.D. DATED 11/11/13. ALL INFORMATION SHOWN HEREIN IS BASED ON THE SURVEY DATA PROVIDED BY JOHN E. WARD, P.E., S.D. DATED 11/11/13. ALL INFORMATION SHALL BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION.

BENCH MARK
PK 116.1 & CL
ELEV 3.01

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:

THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



01 843-410-8778
02 843-991-6811
CHARLESTON, SC
29407
WWW.MWDESIGNSC.COM

PLAN NAME
PORTER RESIDENCE

DRAWN BY: **MGW**

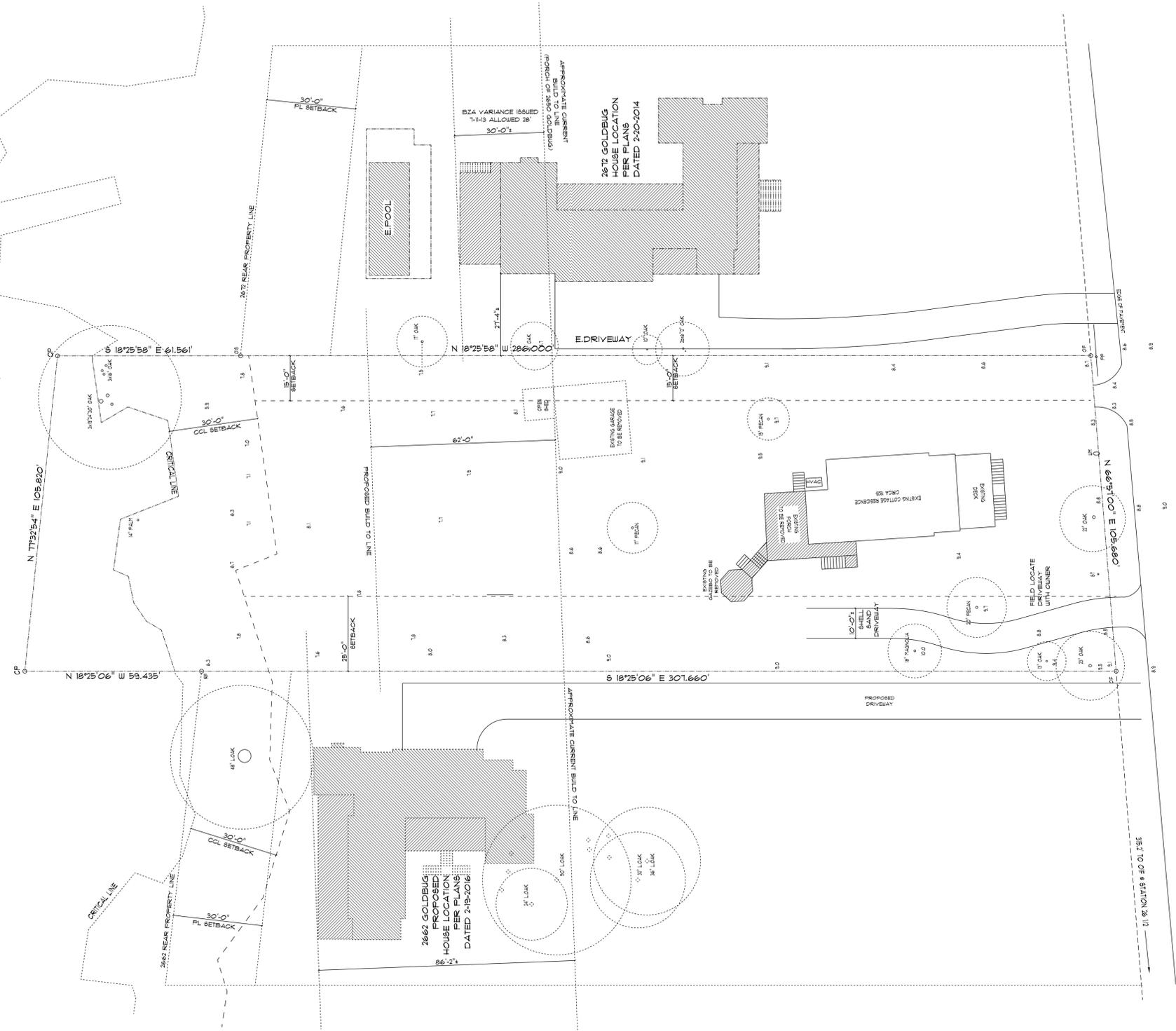
DATE: **5/3/2016**

JOB NO.: **15-2899**

TITLE:

SHEET:
S2

MARSHES OF THE
TOWN OF SULLIVANS ISLAND



GOLDBUG AVENUE 40' R/W

SITE PLAN
SCALE: 1" = 20'-0"

THIS PLAN DOES NOT REPRESENT A SURVEY OR A PLAT. IT IS A SITE PLAN TO HELP LOCATE THE PROPOSED HOUSE ONLY. THE EXACT LAYOUT AND PLACEMENT SHALL BE DETERMINED BY THE BUILDER. THE BUILDER SHALL VERIFY THE LOCATION OF ALL TREES AND SETBACKS TAKEN FROM SURVEY BY JOHN E. WARD, RLS DATED MARCH 15TH 2016 LABELED "SURVEY OF 2668 GOLDBUG AVENUE ACLOT 14 MARSHES OF THE TOWN OF SULLIVANS ISLAND SOUTH CAROLINA". ALL SETBACKS SHALL BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION.

BENCH MARK
PK NILL # CL
ELEV 3.01

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

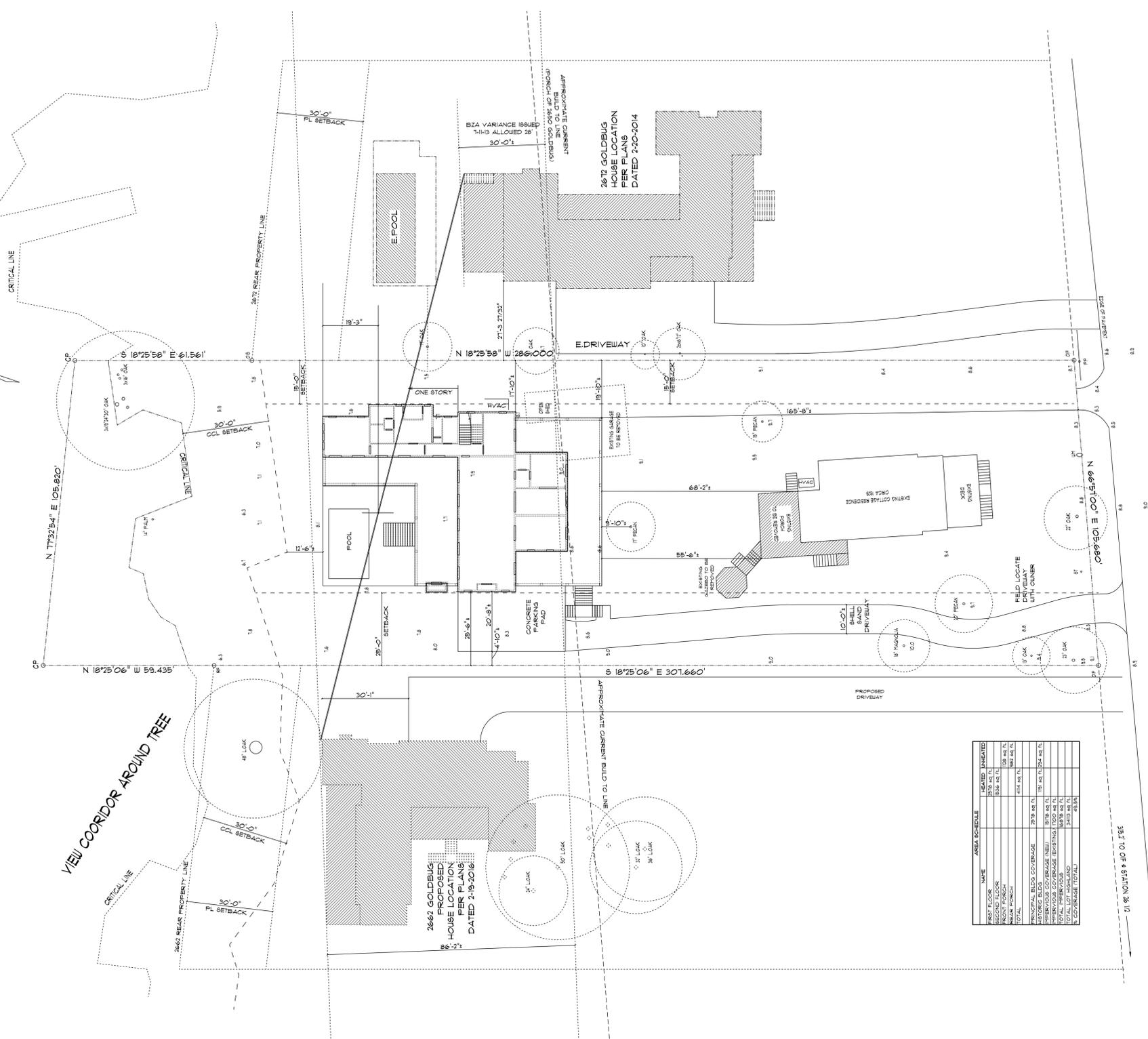
0) 843-410-8778
M) 843-991-6811
CHARLESTON, SC
29407
WWW.MWDESIGNSC.COM

PLAN NAME	PORTER RESIDENCE
DRAWN BY:	MGW
DATE:	5/3/2016
JOB NO.:	15-2899
TITLE:	
SHEET:	S1



MARSHES OF THE
TOWN OF SULLIVANS ISLAND

VIEW CORRIDOR AROUND TREE



NAME	AREA	CIRCLE	HEATED	UNHEATED
1ST FLOOR	2978	44'	44'	0'
2ND FLOOR	2046	31'	31'	0'
REAR PORCH	108	13'	13'	0'
POOL	442	21'	0'	0'
CONCRETE	2978	44'	44'	0'
PERMANENT BLOCK COVERAGE	2978	44'	44'	0'
PERMANENT WOOD COVERAGE	0	0'	0'	0'
PERMANENT METAL COVERAGE	0	0'	0'	0'
PERMANENT OTHER COVERAGE	0	0'	0'	0'
TOTAL PERMANENT COVERAGE	2978	44'	44'	0'
TOTAL LOT COVERAGE	2978	44'	44'	0'
TOTAL LOT COVERAGE (TOTAL)	2978	44'	44'	0'

GOLDBUG AVENUE 40' R/W

SITE PLAN
SCALE: 1" = 20'-0"

THIS PLAN DOES NOT REPRESENT A SURVEY OR A PLAT. IT IS A SITE PLAN TO HELP LOCATE THE PROPOSED BUILDING AND OTHER FEATURES ON THE PROPERTY. ALL DEPENDENCIES AND SETBACKS TAKEN FROM SURVEY BY JOHN E. WADDE JR. FILE DATED MARCH 15TH 2006 LABELLED 'SURVEY' AT 2668 GOLDBUG AVENUE AKA LOT 1111 MOUNTAINVILLE SOUTH CAROLINA. ALL DEPENDENCIES MUST BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION.

BEACH MARK
FK NAIL & CL
ELEV 3.01

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:

THE PORTER RESIDENCE
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

0) 843-410-8778
M) 843-991-6811
CHARLESTON, SC
29407
WWW.MWDESIGNSC.COM

PLAN NAME
PORTER RESIDENCE

DRAWN BY: YGW

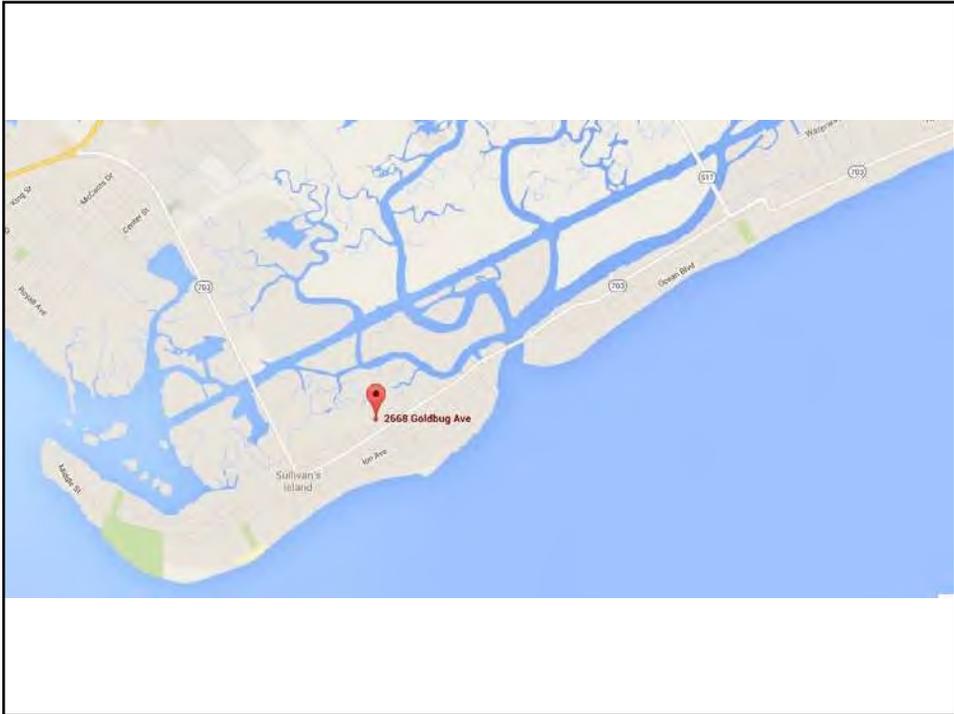
DATE: 4/25/2016

JOB NO.: 15-2899

TITLE:
SITE PLAN

SHEET:
A2

2668 Goldbug Avenue Sullivan's Island

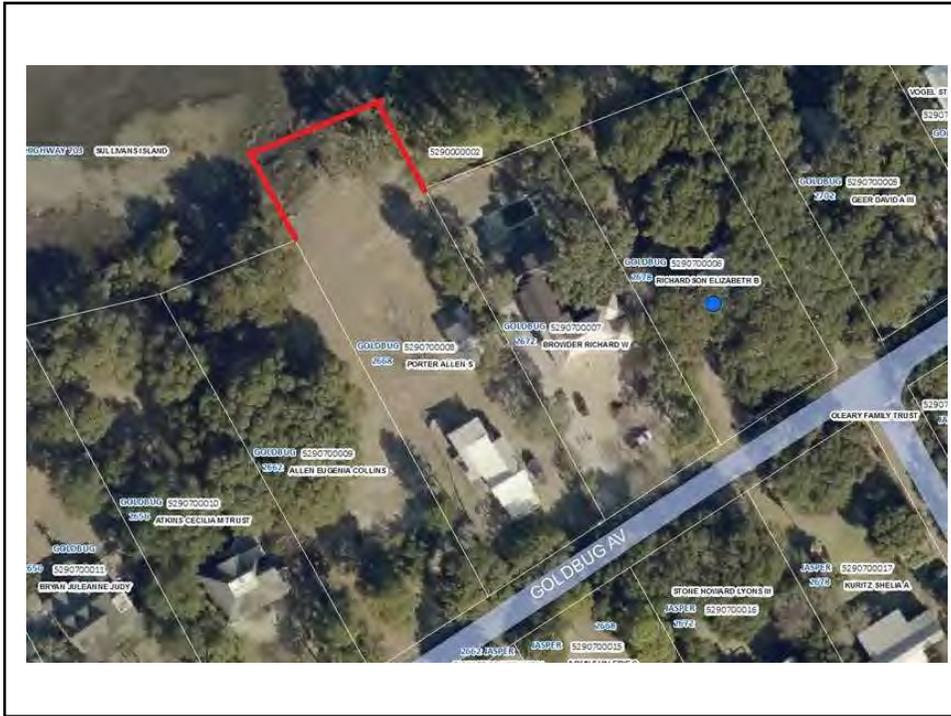


2662

2668

2672





Board of Zoning Appeals

- Special Exception
- Variance Request

Design Review Board

- Historic Designation
- Design



Historic Resource of Sullivan's Island Survey Supplement #2 Altered Historic Resources Evaluation

September 2007

General Information

Surveyor	Schneider Historic Preservation, LLC 411 East 6th Street Annisston Alabama 36207
	Field Survey, Architectural Evaluation: David E. Schneider
Date	September 2007
Prepared For	Town of Sullivan's Island, South Carolina

Project Summary

SHP reviewed all historic resources that had been previously rated "Altered" in the historic resource inventory of Sullivan's Island to determine if any of the resources retained sufficient historic architectural integrity to be considered as a "Landmark" or a "Traditional Island Resource." Generally, the altered historic resources were further classified as "integrity lost" and "restorable." Resources classified as "integrity lost" were altered to a degree where their historic character was severely compromised, typically through extensive exterior alterations or additions. Alterations to resources classified as "restorable" were typically less extensive and these buildings appeared to retain enough historic character that they could be restored and possibly rated as "Traditional Island Resources."

396 2668 Goldbug Ave. Altered (restorable). Alterations have compromised the historic character of the house but appear to be reversible.







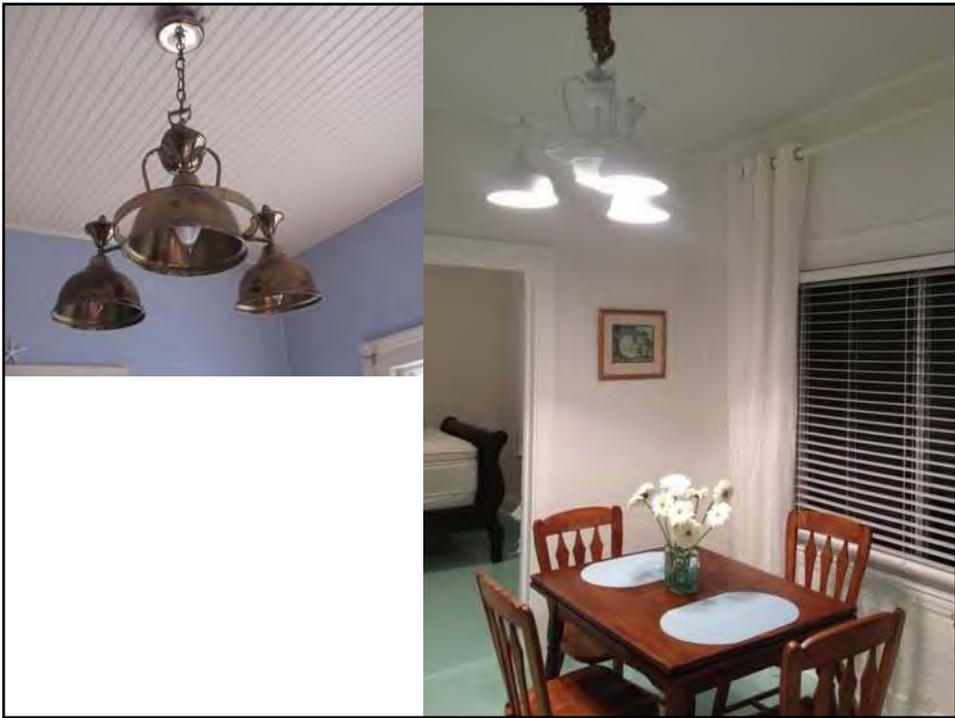


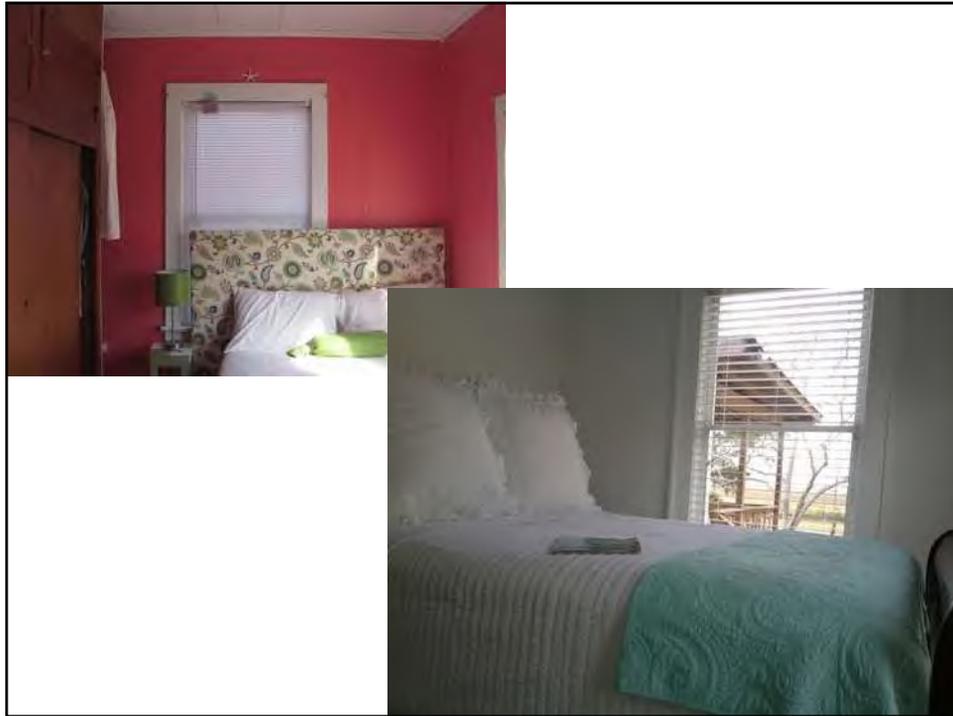












Special Exception

- Zoning Ordinance 21-178
- Zoning Ordinance 21-20

Special Exception 21-178(C)

Step 1: BZA Findings (Section 21-178)

1. Adequate provision is made for such items such as setbacks, fences, and buffered or planting strips to protect adjacent properties from possible adverse influence of the proposed use, such as noise, vibration, dust, glare, odor, traffic congestion, and similar factors.
2. Vehicular traffic and pedestrian movement on adjacent roads shall not be hindered or endangered.
3. Off-street parking and loading areas and the entrance and exits of these areas shall be adequate in terms of location, amount, design, and construction to serve the proposed use.
4. The proposed use shall be compatible with existing uses to the extent that such use will not adversely affect the level of property values, general character, or general welfare of the nearby area.

Special Exception 21-20(c)

Step 2: Special Exception Regulations- [Section 21-20. C (2)]

- Permission to build a second structure and to use the historic structure as an accessory dwelling is approved as a special exception by the Board of Zoning Appeals; and
 - i. The following conditions as covenants running with the property shall be placed on the real office for Charleston County before a building permit is issued:
 - ii. The lot shall remain in single ownership; more specifically, regardless of the type of ownership every owner, member, partner, shareholder, or unit owner, must have the same percentage of ownership in the historic structure as in any additional structure(s); and
 - iii. Every owner, member, partner, shareholder or unit owner must have the same amount of control over the use of the historic structure as over any additional structure(s); and

Other Considerations:

- Structure must be 1200 sq. ft. or less
- No discretionary increases allowed by DRB (lot coverages)
- May be rented long-term however must be owner occupied

Variance 21-179

Sec. 21-179. Variance.

- A. The Board of Zoning Appeals may grant a variance from the terms of this Zoning Ordinance when strict application of the provisions of the Zoning Ordinance would result in unnecessary hardship.
- B. A variance may be granted in an individual case of unnecessary hardship if the Board makes and explains in writing the following findings:
- (1) There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 - (2) These conditions do not generally apply to other property in the vicinity;
 - (3) Because of these conditions, the application of the Zoning Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
 - (4) The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the granting of the variance will not harm the character of the district.

Variance 21-23(E): RC2 Setback

1 boundary line and all lot line distances as of the date the application is submitted.

E. Setbacks from RC-2 District.

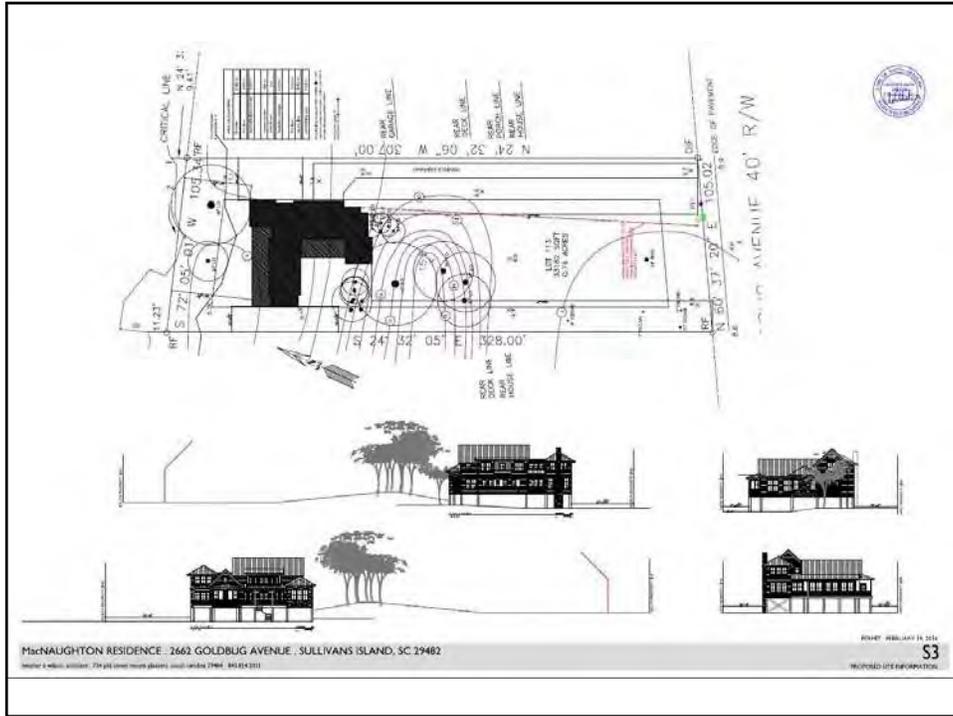
- (1) The following Setback requirements shall apply to structures constructed or placed on lots bordering the RC-2 District:
 - (a) Thirty (30) foot Setback from the lot line bordering the RC-2 Zoning District boundary line or the South Carolina Department of Health and Environmental Control, Office of Ocean and Coastal Resource Management (SCHEC OCRM) "Critical Area Line" established as of the date the Certificate of Zoning Compliance and the Building Permit are issued, whichever is further landward from the RC-2 Zoning District.
 - (b) No structure greater than four and one-half (4 ½) feet shall be constructed or moved on a lot so that any portion of the structure closest to the Rear Lot Line is further from the center of the right-of-way forming the landward boundary of the Lot and running generally parallel with the marshlands than the greatest distance between the center of the said right-of-way to the furthest point of any dwelling on the block on which the lot is located.
 - (c) Any Certificate of Zoning Compliance and Building Permit issued for construction governed by this section shall be valid for twelve (12) months, and if construction has not commenced within said

Neighbors GRANTED SAME Variance

- 2662 Goldbug – MacNaughton Property
- 2672 Goldbug Ave – Browder Property

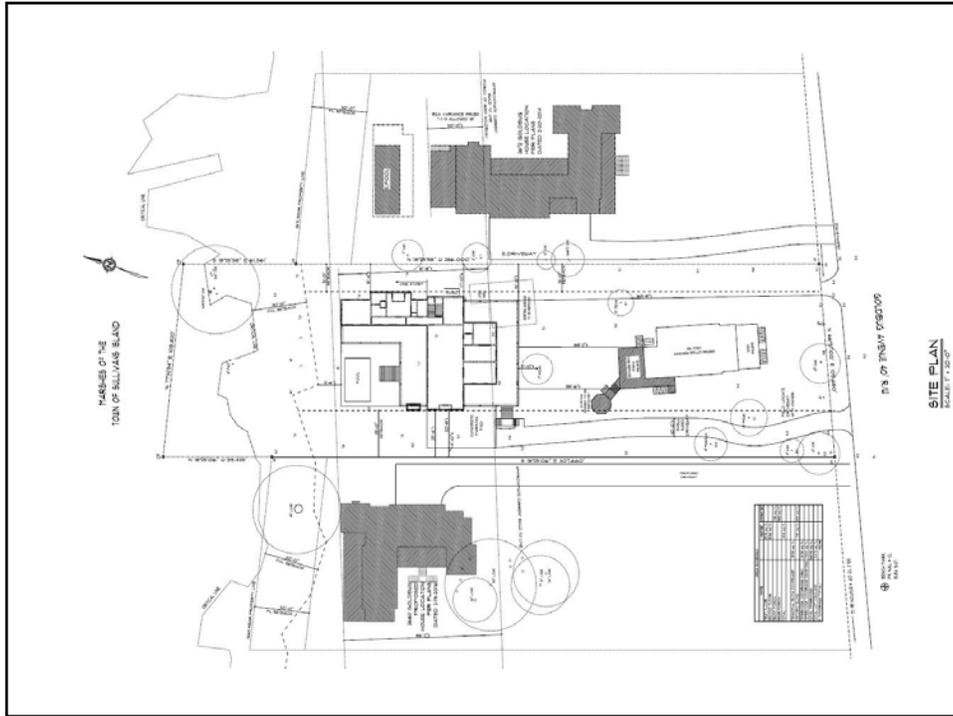
2662 Variance

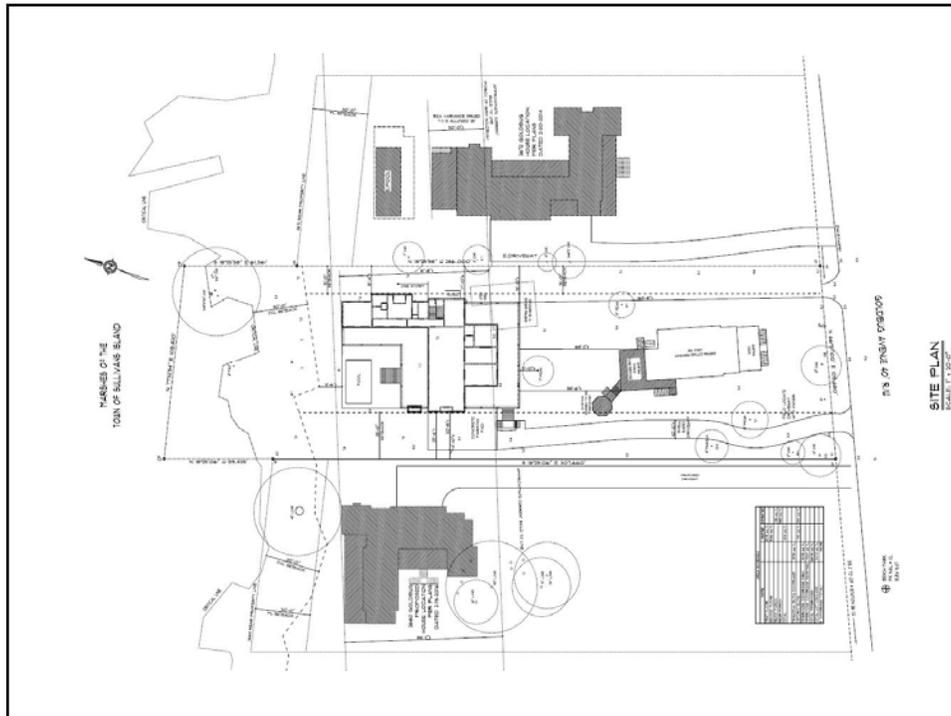
- 2008
- Permitted 2016
- Essentially Same Variance



2672 Variance

- June 2013





Intent of Ordinance Support from Town

From: Smith IV, Bachman [smib@haynsworthsinkler.com]
Sent: Wednesday, March 02, 2016 12:34 PM
To: Joe Henderson
Subject: 2668 Goldbug- support for requested variance

Joe,

Please share my support (as a nearby resident on Goldbug) for the special exception and variance requested by Allen Porter as owner of 2668 Goldbug. (At this time it is not clear that I will be able to attend next Thursday's BZA meeting when this will be discussed and so I want to make my feelings known.)

I have seen the application, design layout, and lot coverage information and believe the variance requested and the efforts taken to have the cottage designated as historic via special exception fall well within the Town's desire to preserve the historic stock. By allowing the variance (if the special exception for historic designation is granted) the newer house will be sufficiently separate from the historic structure to allow it to have its own identity, if you will, thereby furthering the Town's desire to preserve its historic roots while allowing for aesthetically pleasing newer construction to complement rather than detract from the historic nature of the cottage.

Thinking back to my time on the BZA I recall a similar variance request for the residence located immediately to the right of 2668 Goldbug (as you face the marsh). At the time the owners of that lot made a well-reasoned plea to locate their new house closer to the marsh in order to preserve a large oak. I do not see any difference between these two requests and am hopeful the neighbors would not object to Allen's request just as he did not object to their request.

I would make a suggestion that if the requested variance is granted that the motion doing so somehow addresses the portion of the house closest to the marsh must be one story (or somehow night time) The idea is to avoid a situation like last seen with the house to the right where a variance was granted based on representations that the same marsh-adjacent (if I can make up a word) portion of the house would be one story but was not built as was represented to the BZA.

**Haynsworth
Sinkler Boyd, PA.**
 ATTORNEYS AND COUNSELORS AT LAW

Richard S. Smith IV | 615.565.1111 | rsmith@haynsworthsinkler.com
 139 Meeting Street, 2nd Floor (2nd fl.) | Post Office Box 140 (24802) | Charleston, South Carolina
 Phone: 843.722.3366 | Fax: 843.722.2266 | Direct: 843.720.4427 | Mobile: 843.339.8942

[webpage](#) | [Bio](#) | [vCard](#) | [map](#) | [social](#)

Dear Joe,

I am writing to you and the Board of Zoning Appeals in support of the request of Alan Porter for a special exception and variance of the property located at 7558 Goldbug Avenue.

The cottage in question has been in existence on Sullivan's Island all of my life. I knew that the Brown family owned and occupied this house from the early 1950's until Robert Brown sold it a few years ago. The cottage is very similar in size and shape to the homes in which my (now) adult residents, including myself, were raised. The small cottages were and are an integral part of the fabric of Sullivan's Island's history and character. They are rapidly disappearing. We should be doing all we can to save, rather than destroy, these structures.

I believe the intent of council when creating the Historic Preservation Ordinance was to save such structures. If a mistake was made, it must have been an oversight at the time the Historical Structures survey and inventory were conducted. In my opinion, this cottage meets the qualifications and should have been included in the inventory of structures significant to the Island's history.

I respectfully ask that the Board give every consideration to Mr. Porter's request and grant the special exception and variance.

Thank you for your time and service to our community.

Sincerely,
Marshall Stith

Members of DRI and IZA,

I would like to voice my support for the project proposed at 2661 Childbug. The existing house on that lot is one of my favorite homes on the street and island for that matter. When Mr Porter showed me his plans I was pleasantly surprised for several reasons.

First, there have been many homes built in our neighborhood in the last several years and he is the only one who has taken the time to show me the plans prior.

Secondly, I am ecstatic he plans to keep the currently structure on the property and preserve some historic character to this island.

Thirdly, others have requested and been granted a similar request and I think this one would allow for better neighborhood compatibility.

Please let me know if I can elaborate on any points or if you need any clarification.

Pierce Laubert
2714 Jasper Blvd
(803) 293-0028

GENERAL NOTES:

1) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS AS APPLICABLE.

2) OWNER AND/OR BUILDER SHALL BE RESPONSIBLE FOR ANY SOIL TESTING REQUIRED TO DETECT ANY UNSUITABLE CONDITIONS WHICH MAY AFFECT THE PERFORMANCE OF THE FOOTINGS AND PIERS. A MINIMUM 2000 PSF SOIL BEARING PRESSURE IS ASSUMED WHERE THIS STRUCTURE IS CONCERNED.

3) THE INTERNATIONAL RESIDENTIAL CODE (IRC) CURRENT EDITION WITH SOUTH CAROLINA AMENDMENTS SHALL GOVERN WHEREVER THESE DRAWINGS ARE SILENT, OR ARE IN CONFLICT.

4) ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER, OR ENGINEER FOR JUSTIFICATION AND/OR CORRECTION PRIOR TO THE START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

5) DIMENSIONS SHALL BE READ, OR CALCULATED AND NEVER SCALED.

6) FOLLOW TRUSS MANUFACTURER'S INSTALLATION GUIDE & INSTRUCTIONS.

7) PREFABRICATED FIREPLACES & FLUES SHALL BE U.L. APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

8) ALL LUMBER IN CONTACT WITH MASONRY, OR CONCRETE SHALL BE PRESSURE TREATED.

9) BUILDER SHALL FIELD APPROVED LAYOUT OF ELECTRICAL, HVAC, REGISTER LOCATIONS AND CABLE/PHONE JACKS.

10) BUILDER SHALL FIELD APPROVE SHOP DRAWINGS OF ALL CABINETS AND BUILDING PRIOR TO INSTALLATION.

11) LOCATE THE IGNITION SOURCE FOUND ON ANY APPLIANCE LOCATED IN THE GARAGE AT 18" ABOVE FINISHED FLOOR (MINIMUM).

12) CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

13) CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO BEGINING CONSTRUCTION.

14) ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND SHALL REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING THE BUILDING.

15) ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.

16) WINDOW SUPPLIER SHALL VERIFY TYPE OF GLASS REQUIRED AT ALL LOCATIONS FOR CODE COMPLIANCE. PROVIDE TEMPERED GLASS AS REQUIRED BY 2012 IRC, SECTION 308 AND EGRESS WINDOWS AS REQUIRED BY 2012 IRC, SECTION 310.

17) SPECIFIED WINDOW DIMENSIONS ARE GENERIC AND MAY VARY ACCORDING TO THE MANUFACTURER SELECTED. CONTRACTOR SHALL COORDINATE ACTUAL WINDOW ROUGH OPENINGS IN THE FIELD.

18) KITCHEN LAYOUT SHOWN IN APPROXIMATE MANOR ONLY. FINAL CABINET DESIGN SHALL BE BY CABINET SUPPLIER. COORDINATE EXACT LAYOUT AND FINISHES WITH OWNER/BUILDER PRIOR TO FABRICATION.

INTERNATIONAL CONSERVATION CODE (IECC) REQUIREMENTS (2009)

1. WINDOWS AND SKYLIGHTS SHALL HAVE A U - FACTOR LESS THAN OR EQUAL TO 0.30

2. WINDOWS AND SKYLIGHTS SHALL BE LOW E WITH A SOLAR HEAT GAIN COEFFICIENT (SHGC) LESS THAN OR EQUAL TO 0.30

3. CEILING INSULATION SHALL BE R-30 OR GREATER

4. WALL INSULATION SHALL BE R13 OR GREATER

5. FLOOR INSULATION SHALL BE R19 OR GREATER

6. HVAC UNITS AND DUCT SYSTEMS SHALL BE SIZED AND SPECIFIED BY A QUALIFIED MECHANICAL CONTRACTOR. HEAT PUMPS SHALL HAVE ADAPTIVE RECOVERY THERMOSTATS.

7. THE MANUAL J LOAD SIZING REPORT MAY BE REQUIRED AT TIME OF PERMITTING, COORDINATE WITH LOCAL BUILDING OFFICIAL.

8. DUCTS OUTSIDE CONDITION SPACED SHALL BE INSULATED TO R8 OR GREATER AND SHALL BE SEALED AND TESTED TO SUBSTANTIALLY AIRTIGHT

9. ALL HOLES AND PENETRATION AT THE BUILDING ENVELOPE SHALL BE SEALED.

10. ALL RECESSED CANS AT INSULATED ATTIC SPACES SHALL BE IC AIRTIGHT (ICAT)

11. ALL PIPES CARRYING FLUIDS ABOVE 105 DEGREES (F) SHALL BE INSULATE TO R-3 OR GREATER

12. 50% OF LAMPS MUST BE HIGH-EFFICIENT

THE PORTER COTTAGE RENOVATIONS

2668 GOLDBUG AVENUE
LOT 114 MOULTRIEVILLE EAST
TOWN OF SULLIVANS ISLAND
SOUTH CAROLINA
TMS 529-07-00-008

PLAN HISTORY

1-27-2016 REVIEW SET #11
3-09-2016 REVIEW SET #12

DRAWING INDEX

- E1 TITLE PAGE & PLAN HISTORY
- E2 SITE PLAN
- E3 FLOOR PLANS OPTION #1
- E4 ELEVATIONS OPTION #1
- E5 FLOOR PLANS OPTION #2
- E6 ELEVATIONS OPTION #2

BUILDER:

Plans and Structural Engineering by:



DRB PRELIMINARY SUBMITTAL

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PLAN NAME
PORTER COTTAGE

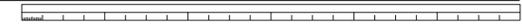
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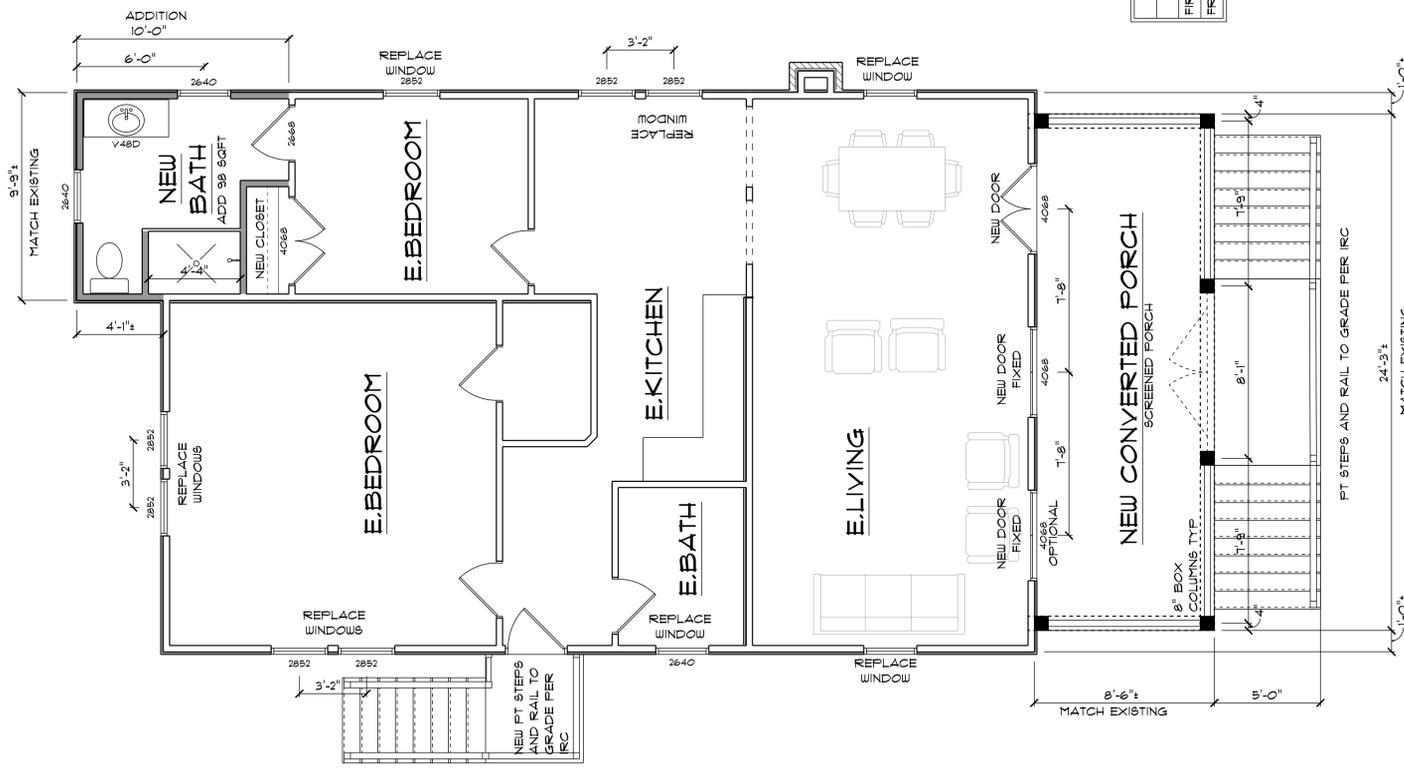
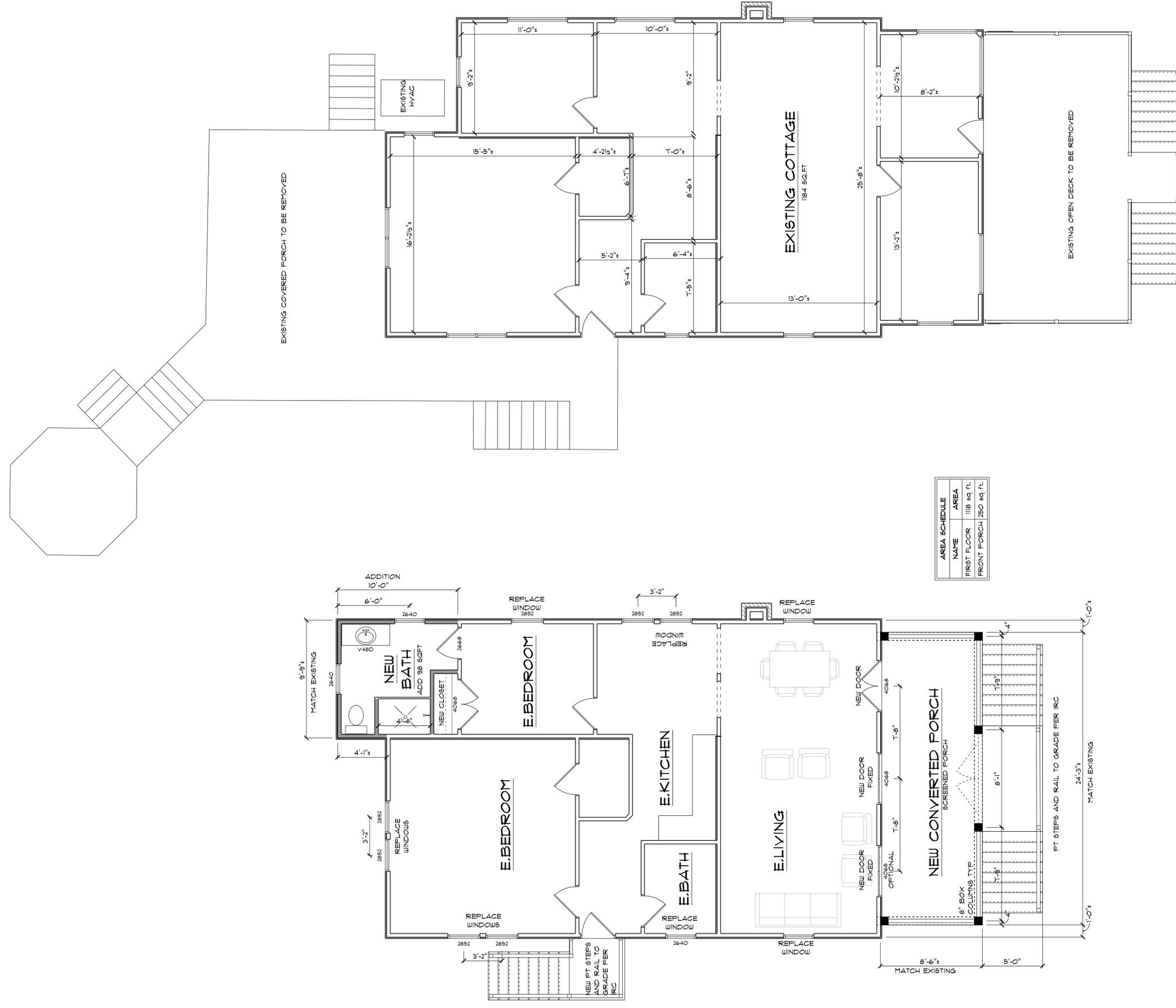
DATE: 3/9/2016

JOB NO.: 15-2899

TITLE:

SHEET:
E1





AREA SCHEDULE	
NAME	AREA
FIRST FLOOR	1118 sq ft.
FRONT PORCH	250 sq ft.

PROPOSED FLOOR PLAN OPTION #1
SCALE: 1/4" = 1'-0"

EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

OPTION #1 PORCH RESTORATION WITH ADDITION

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA

01 843-410-8778
 M) 843-991-6811
 CHARLESTON, SC
 29407
 WWW.MWDESIGNSC.COM

PLAN NAME
PORTER COTTAGE

DRAWN BY: **MGW**

DATE: **3/9/2016**

JOB NO.: **15-2899**

TITLE:
OPTION 1 FLOOR PLANS

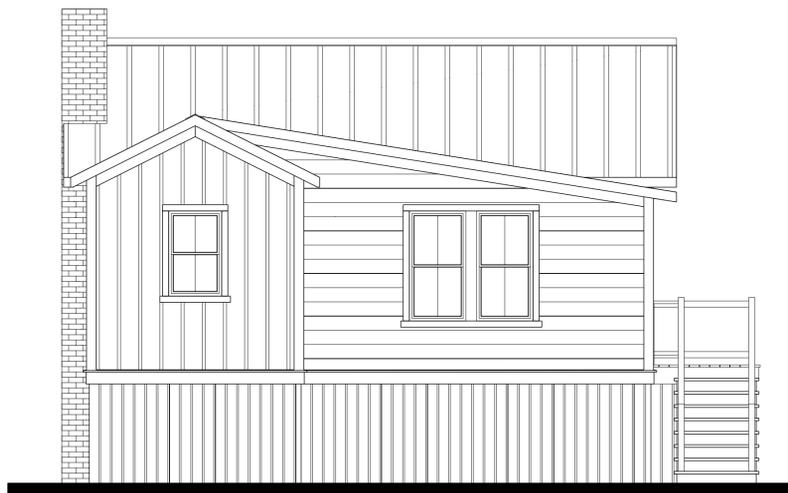
SHEET:
E3



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

OPTION #1 PORCH RESTORATION WITH ADDITION

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PLAN NAME
PORTER COTTAGE

DRAWN BY: MGL

DATE: 3/8/2016

JOB NO.: 15-2899

TITLE:

SHEET:
E4



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN OPTION 2
SCALE: 1/4" = 1'-0"

OPTION #2 NO FOOTPRINT CHANGES, RESTORATION ONLY

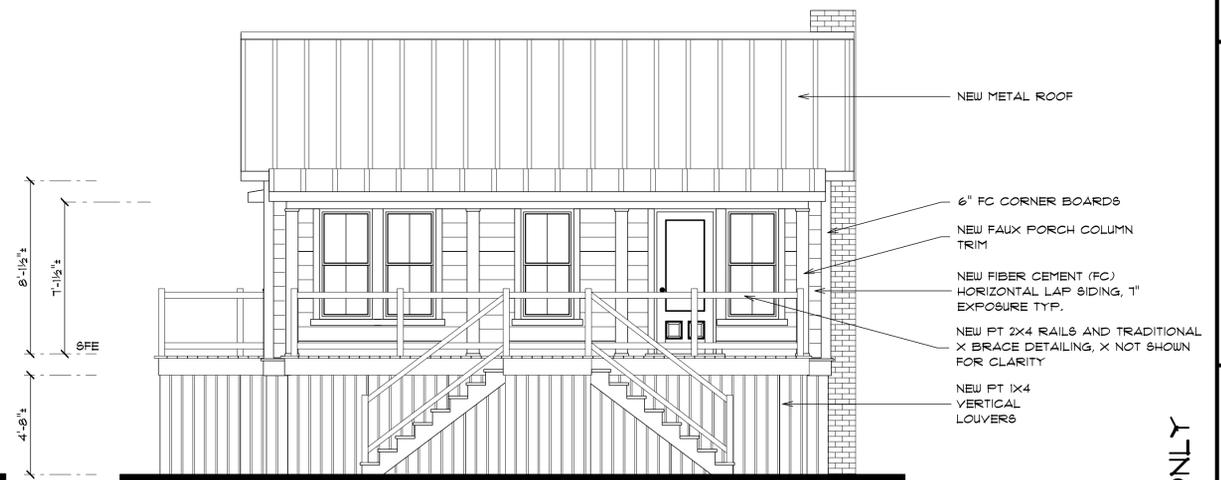
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA

O: 843-410-8778
 M: 843-991-6811
 CHARLESTON, SC 29407
 WWW.MWDESIGNSC.COM

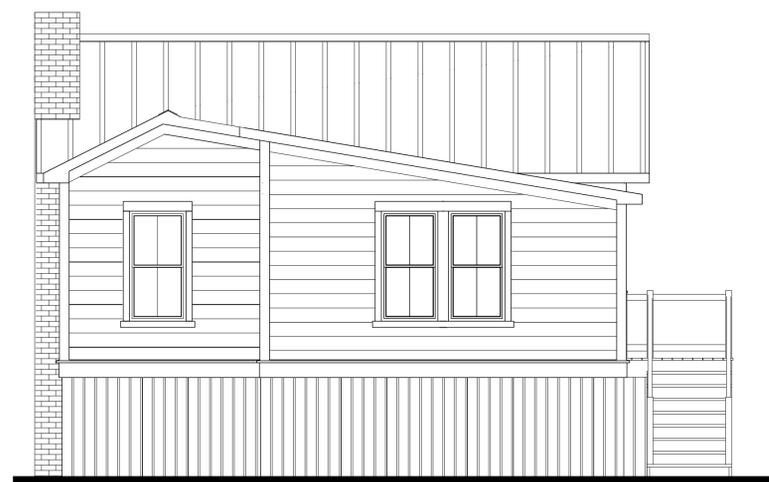
PLAN NAME	PORTER COTTAGE
DRAWN BY:	MGW
DATE:	1/27/2016
JOB NO.:	15-2899
TITLE:	OPTION 2 FLOOR PLANS
SHEET:	E2.1



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

OPTION #2 NO FOOTPRINT CHANGES, RESTORATION ONLY

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA

MW DESIGN
 O) 843-410-8778
 M) 843-991-6811
 CHARLESTON, SC 29407
 WWW.MWDESIGNSC.COM

PLAN NAME
PORTER COTTAGE

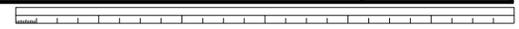
DRAWN BY: **MGW**

DATE: **1/27/2016**

JOB NO.: **15-2899**

TITLE:

SHEET:
E2.2





EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

PROPOSED FLOOR PLAN OPTION 3
SCALE: 1/4" = 1'-0"

OPTION #3 NO FOOTPRINT CHANGES, RESTORATION ONLY

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



PLAN NAME
PORTER COTTAGE

DRAWN BY: **MGW**

DATE: **4/20/2016**

JOB NO.: **15-2899**

TITLE:
OPTION 3 FLOOR PLANS

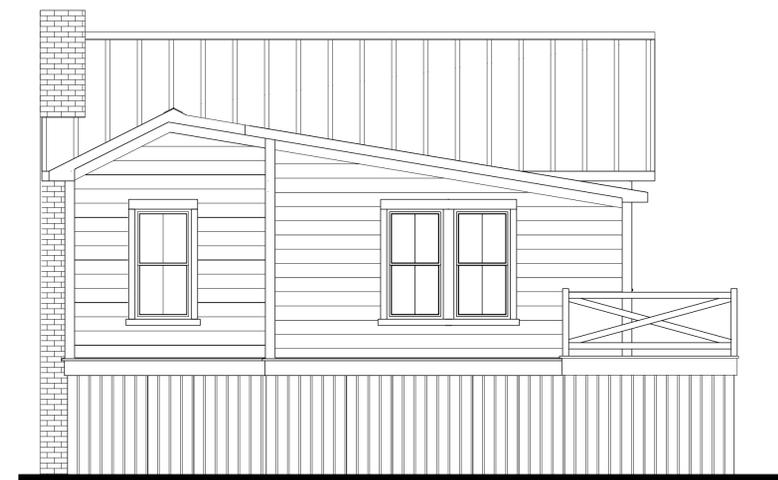
SHEET:
E2.1



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

OPTION #3 NO FOOTPRINT CHANGES, RESTORATION ONLY

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PLAN NAME
PORTER COTTAGE

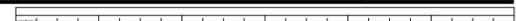
DRAWN BY: MGD

DATE: 4/20/2016

JOB NO.: 15-2899

TITLE:

SHEET:
E2.2



GENERAL NOTES:

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES & REGULATIONS, AND MANUFACTURER INSTALLATION INSTRUCTIONS AS APPLICABLE.

2. OWNER AND/OR BUILDER SHALL BE RESPONSIBLE FOR ANY SOIL TESTING REQUIRED TO DETECT ANY UNSTABLE CONDITIONS WHICH MAY AFFECT THE PERFORMANCE OF THE FOOTINGS AND PIERLS. A MINIMUM 3000 PPM SOIL BEARING CAPACITY IS ASSUMED UNLESS THIS STRUCTURE IS CONCERNED.

3. I.P.E. INTERNATIONAL RESIDENTIAL CODE, RE: CURRENT EDITION WITH SOUTH CAROLINA AMENDMENTS SHALL GOVERN UNLESS THESE DRAWINGS ARE BLUNT OR ARE IN CONFLICT.

4. ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER OR ENGINEER FOR CLARIFICATION AND/OR CORRECTION PRIOR TO THE START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

5. DIMENSIONS SHALL BE READ, OR CALCULATED AND NEVER SCALED.

6. FOLLOW MANUFACTURER'S INSTALLATION GUIDE & INSTRUCTIONS.

7. PREFABRICATED REPLACES & FLUSH SHALL BE U.L. APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

8. ALL MEMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PROPERLY TREATED.

9. BUILDER SHALL FIELD APPROVED LAYOUT OF ELECTRICAL WIRING, HIDDEN LOCATIONS AND CABLING AND JACKS.

10. BUILDER SHALL FIELD APPROVE SHOP DRAWINGS OF ALL CABINETS AND BATHS PRIOR TO INSTALLATION.

11. LOCATE THE DOWN SOURCE PIPING ON ANY APPLIANCES LOCATED IN THE GARAGE AT 18" ABOVE FINISHED FLOOR FINISH.

12. CONTRACTOR SHALL MAINTAIN COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

13. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO BEGINNING CONSTRUCTION.

14. ALL FOOTINGS TO BE BELOW FRESH LINE (SEE LOCAL CODES) AND SHALL REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING THE BUILDING.

15. ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.

16. WINDOW SUPPLIER SHALL VERIFY TYPE OF GLASS REQUIRED AT ALL LOCATIONS FOR CODE COMPLIANCE, PROVIDE THERMID GLASS AS REQUIRED BY 103 IBC SECTION 502 AND ENERGY WINDOWS AS REQUIRED BY 203 IBC SECTION 502.

17. APPROVED WINDOW OPERATORS ARE GRABING AND MAY VARY ACCORDING TO THE MANUFACTURER SELECTED. CONTRACTOR SHALL COORDINATE ACTUAL WINDOW ROUGH OPENINGS IN THE FIELD.

18. KITCHEN LAYOUT SHOWN IS APPROXIMATE MAJOR ONLY. FINAL CABINET DESIGN SHALL BE BY CABINET SUPPLIER. COORDINATE EXACT LAYOUT AND FINISHES WITH QUANTITIES PRIOR TO FABRICATION.

INTERNATIONAL CONSERVATION CODES (ICC) REQUIREMENTS (COOL)

1. WINDOWS AND SKYLIGHTS SHALL HAVE A U-FACTOR LESS THAN OR EQUAL TO 0.30

2. WINDOWS AND SKYLIGHTS SHALL BE LGS 8 WITH A SOLAR HEAT GAIN COEFFICIENT (SHGC) LESS THAN OR EQUAL TO 0.30

3. CEILING INSULATION SHALL BE R20 OR GREATER

4. WALL INSULATION SHALL BE R19 OR GREATER

5. FLOOR INSULATION SHALL BE R18 OR GREATER

6. HVAC UNITS AND DUCT SYSTEMS SHALL BE SIZED AND SPECIFIED BY A QUALIFIED MECHANICAL CONTRACTOR. HEAT PUMPS SHALL HAVE ADAPTIVE RECOVERY THERMOSTATS

7. THE MINIMAL JOINT BONDING REPORT MAY BE REQUIRED AT TIME OF PERMITTING. COORDINATE WITH LOCAL BUILDING OFFICE.

8. JOINTS UNDER EXTERIOR SPACES SHALL BE INSULATED TO R8 OR GREATER AND SHALL BE SEALED AND TESTED TO SUBSTANTIALLY AIR-TIGHT

9. ALL HOLES AND PENETRATIONS AT THE BUILDING ENVELOPE SHALL BE SEALED.

10. ALL RECESSED CABS AT INSULATED WTC SPACES SHALL BE 1/2 AIRTIGHT (CAT)

11. ALL PIPES CARRYING FLUIDS ABOVE OR BELOW 9" SHALL BE WALLETS TO R-3 OR GREATER

12. 50% OF LAMPS MUST BE HIGH-EFFICIENT

THE PORTER RESIDENCE

2668 GOLDBUG AVENUE
LOT 114 MOULTRIEVILLE EAST
TOWN OF SULLIVANS ISLAND
SOUTH CAROLINA
TMS 529-07-00-008



ILLUSTRATIVE RENDERING (INTS)

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY. SEE ELEVATIONS FOR DETAILING. COLORS SHOWN ARE NOT REPRESENTATIVE OF FINAL COLORS. COORDINATE WITH OWNER.

PLAN HISTORY

- 04-24-2015 REVIEW SET #1
- 06-24-2015 REVIEW SET #2
- 07-10-2015 REVIEW SET #3
- 07-24-2015 REVIEW SET #4
- 09-21-2015 REVIEW SET #5
- 10-09-2015 REVIEW SET #6
- 11-02-2015 REVIEW SET #7
- 11-19-2015 REVIEW SET #8
- 11-25-2015 REVIEW SET #9
- 12-03-2015 REVIEW SET #10
- 02-06-2015 REVIEW SET #11

DRAWING INDEX

- A1 TITLE PAGE & PLAN HISTORY
 - A2 SITE PLAN
 - A3 GROUND FLOOR PLAN
 - A4 FIRST FLOOR PLAN
 - A5 SECOND FLOOR PLAN & SECTIONS
 - A6 PERSPECTIVE VIEWS
 - A5 FRONT & LEFT ELEVATIONS
 - A6 REAR & RIGHT ELEVATIONS
-
- S1 FOUNDATION PLAN
 - S2 FOUNDATION DETAILS
 - S3 1ST FLOOR FRAMING PLAN
 - S4 2ND FLOOR FRAMING PLAN
 - S5 ROOF FRAMING PLAN
 - S6 FRAMING & CONNECTION DETAILS

BUILDER

Plans and Structural Engineering by



DRB CONCEPTUAL SUBMITTAL

STRUCTURAL ENGINEERING & DESIGN BY STEVEN W. HASKIN, LLC/TUM

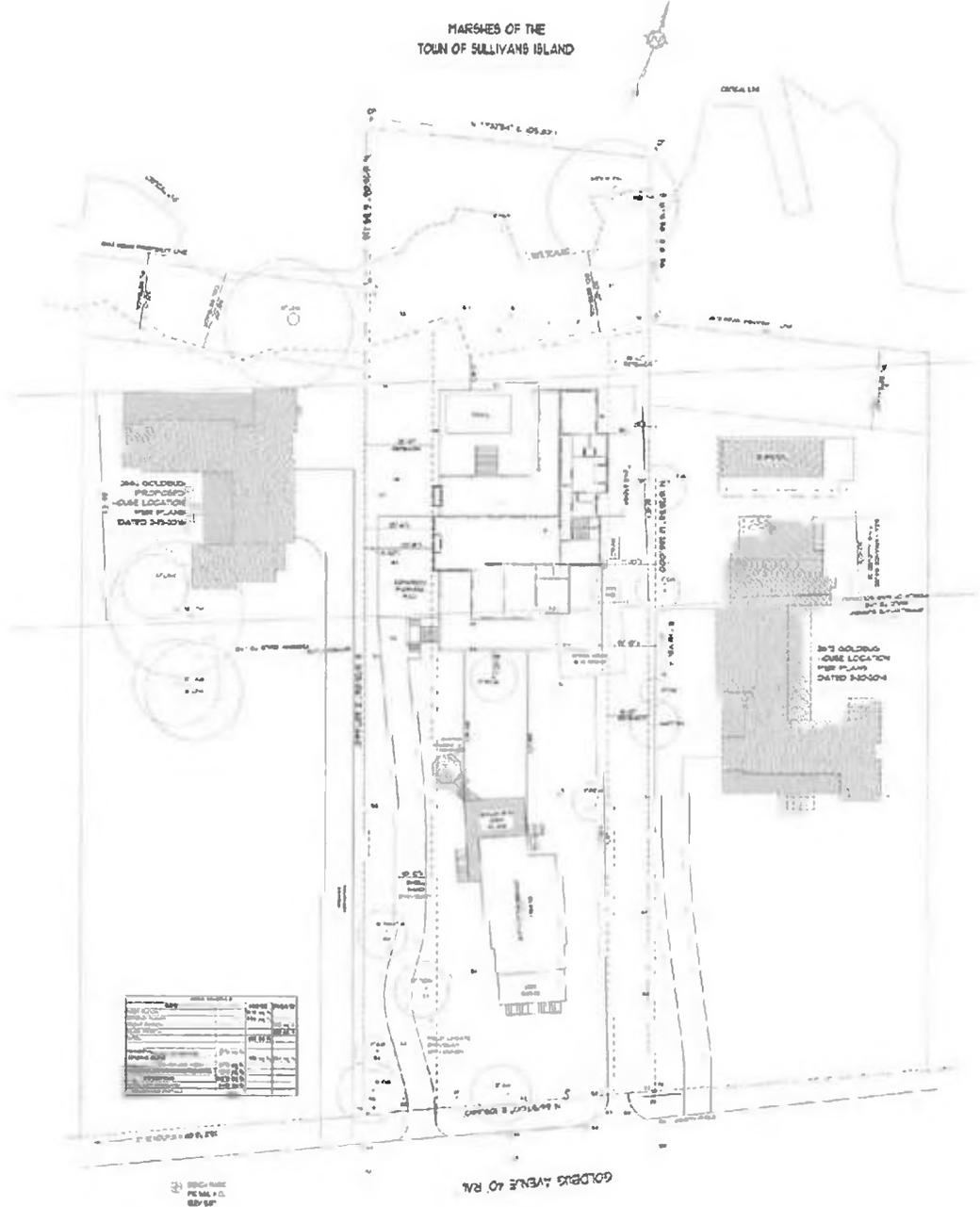
THE PORTER RESIDENCE
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PORTER RESIDENCE

DATE: 02/06/15
SCALE: 1/8" = 1'-0"

A1



NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMITS	02/10/16	MM	MM
2	REVISED PER COMMENTS	02/10/16	MM	MM
3	REVISED PER COMMENTS	02/10/16	MM	MM
4	REVISED PER COMMENTS	02/10/16	MM	MM
5	REVISED PER COMMENTS	02/10/16	MM	MM
6	REVISED PER COMMENTS	02/10/16	MM	MM
7	REVISED PER COMMENTS	02/10/16	MM	MM
8	REVISED PER COMMENTS	02/10/16	MM	MM
9	REVISED PER COMMENTS	02/10/16	MM	MM
10	REVISED PER COMMENTS	02/10/16	MM	MM

SITE PLAN

SCALE: 1" = 30'-0"

THIS PLAN DOES NOT REPRESENT A CONTRACT. IT IS A PRELIMINARY PLAN FOR INFORMATION ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS ON THE GROUND. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTING CONDITIONS ON THE GROUND.

POSTER
SERVICES

DATE PLANNED: A2

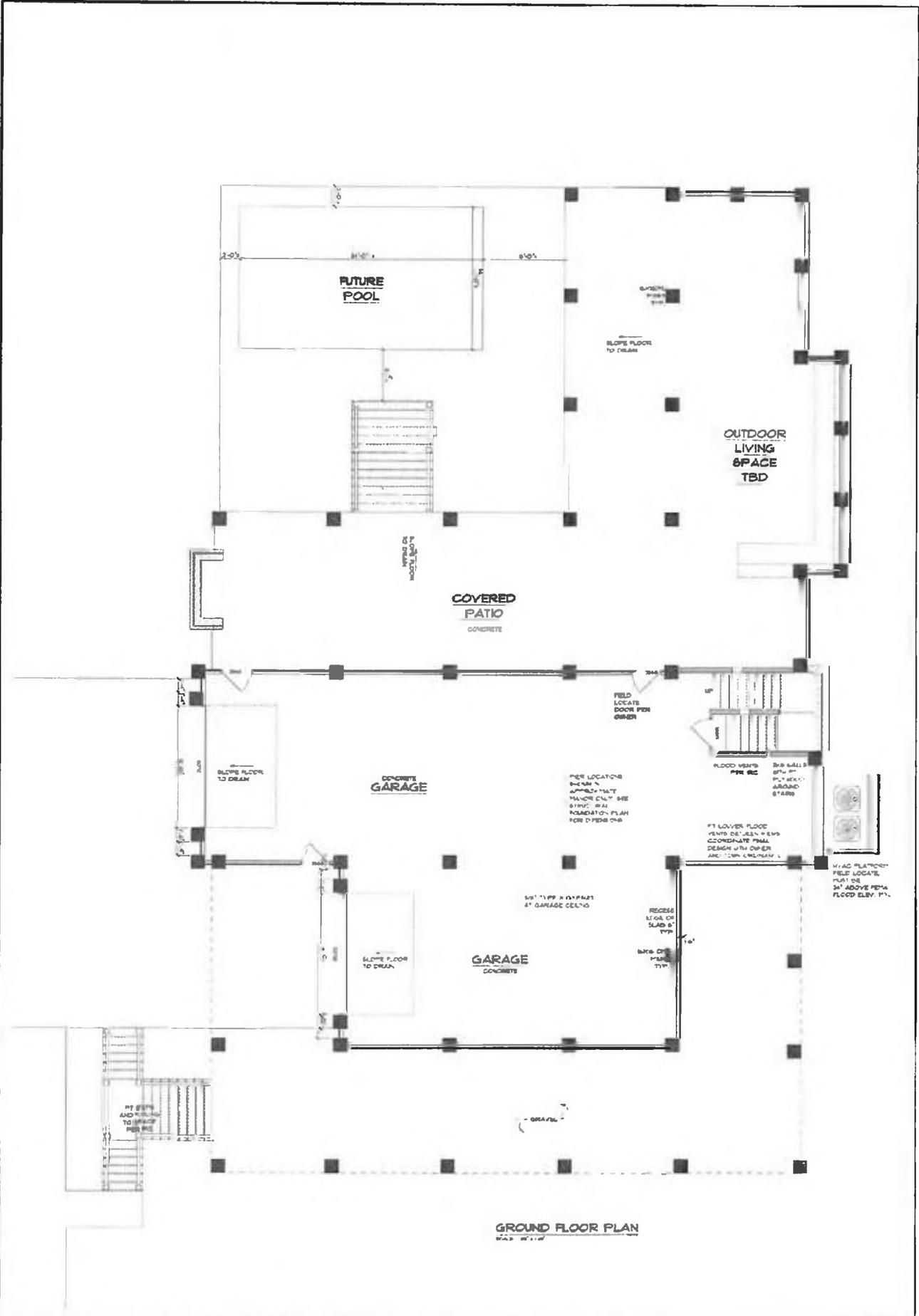
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0268-0410
0268-0410

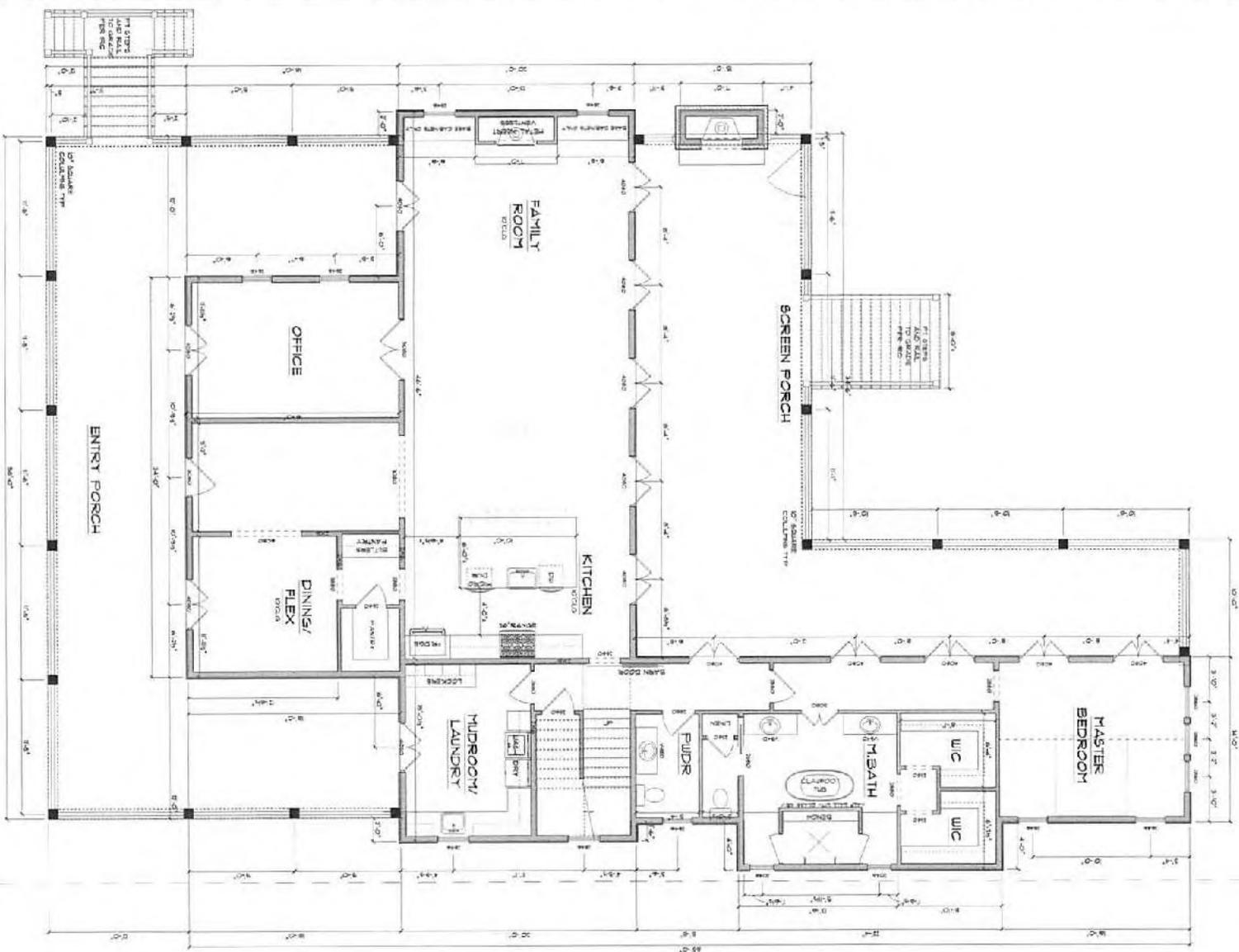
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC N.C.

THE PORTER RESIDENCE
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

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A3	PORTER RESIDENCE GROUND FLOOR PLAN	 DESIGN 2000 W.	STRUCTURAL ENGINEERING & DESIGN BY M.W. DESIGN, LLC FOR THE PORTER RESIDENCE 2668 GOLDBUG AVENUE SULLIVANS ISLAND, SOUTH CAROLINA	
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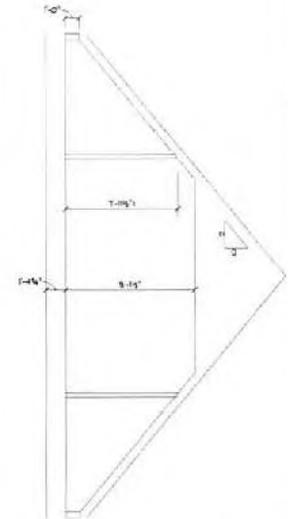
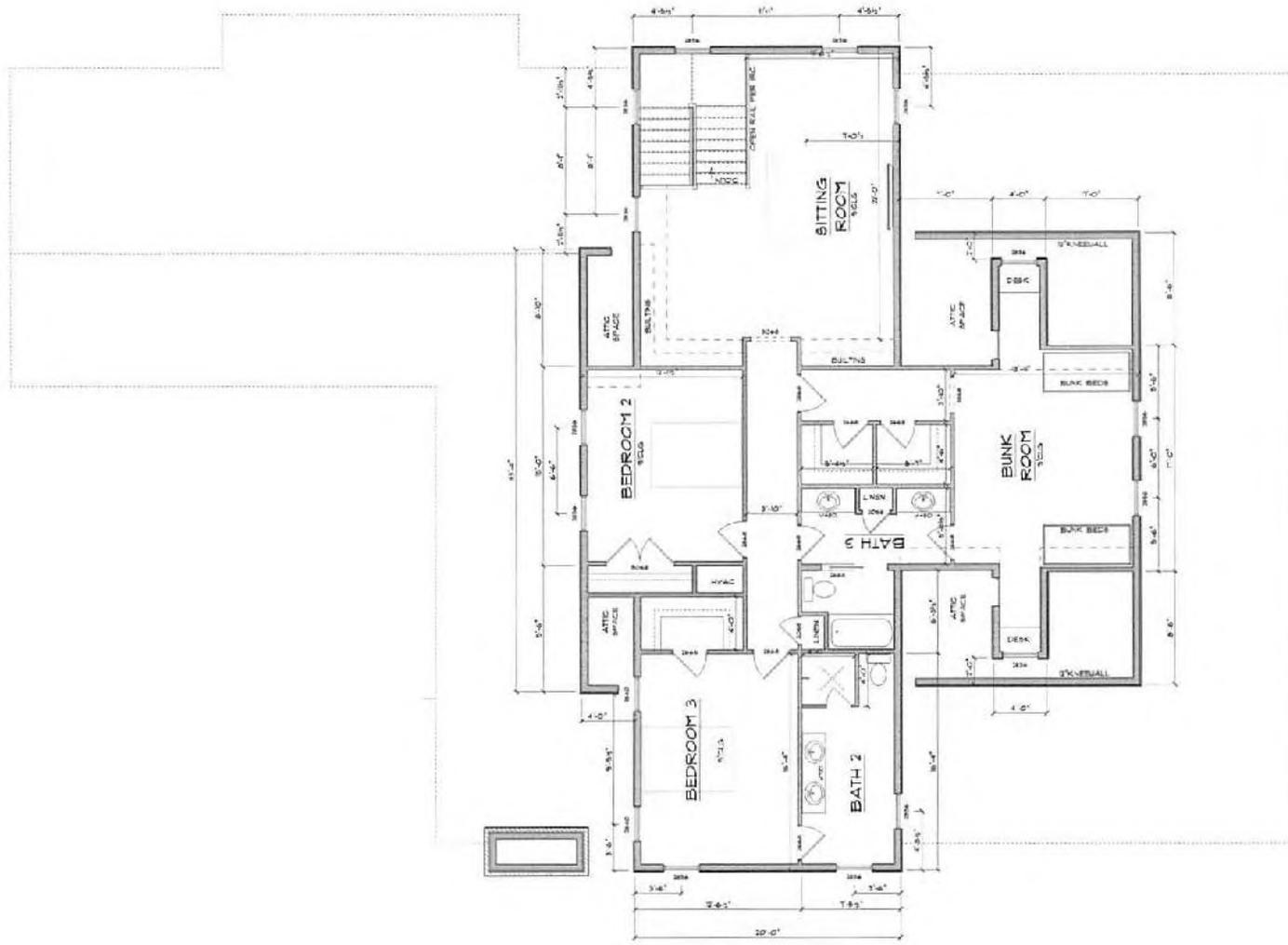


FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

A4
FIRST FLOOR PLAN
DATE: 05/20/14
PROJECT: PORTER RESIDENCE



STRUCTURAL ENGINEERING & DESIGN BY W.M. BERSON, LLC FOR
THE PORTER RESIDENCE
 2668 GOLDBUG AVENUE
 SULLYVAAS ISLAND, SOUTH CAROLINA



STRUCTURAL ENGINEERING & DESIGN BY RW DESIGN, LLC FOR:

THE PORTER RESIDENCE
 2668 GOLDBUG AVENUE
 SULLYVAAS ISLAND, SOUTH CAROLINA

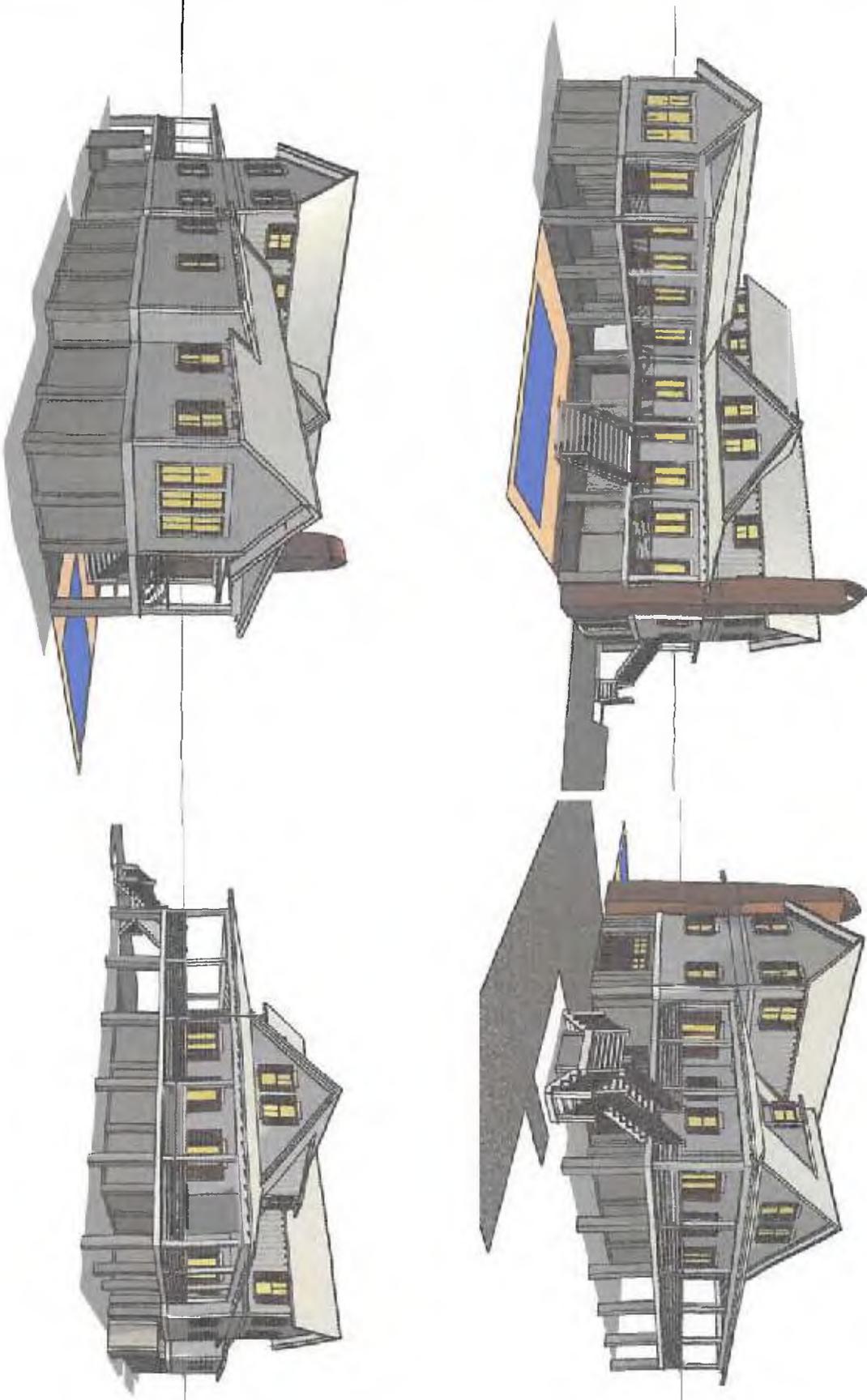


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 WWW.MWDESIGN.COM

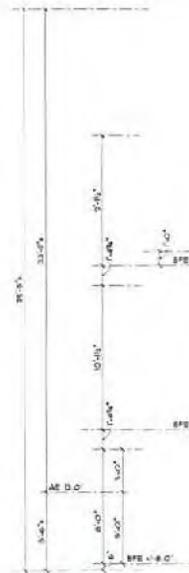
PROJECT
PORTER RESIDENCE

DATE: 10/2019
 DATE: 10/2019
 DATE: 10/2019

DATE
A5



 <p>MW DESIGN RESIDENTIAL ARCHITECTURE & INTERIOR DESIGN</p>	STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR THE PORTER RESIDENCE 2668 GOLDBUG AVENUE SULLIVANS ISLAND, SOUTH CAROLINA	
	PROJECT NO. 14-001 DATE: 12/15/14 DRAWN BY: JMM CHECKED BY: JMM PROJECT LOCATION: SULLIVANS ISLAND, SC	SHEET NO. A6 TOTAL SHEETS: 10



Elevation Front
SCALE: 1/4" = 1'-0"



Elevation Left
SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEERING & DESIGN BY JAW DESIGN, LLC FOR:

THE PORTER RESIDENCE
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PLAN NAME:
PORTER
RESIDENCE

DATE: 11/20/24
JOB NO.: 24011
TITLE:
ELEVATION
SKETCHES

NO:
A7

