

PATRICK M. O'NEIL
MAYOR

TOWN OF SULLIVAN'S ISLAND

ANDY BENKE
TOWN ADMINISTRATOR

JASON BLANTON
DEPUTY ADMINISTRATOR/COMPTROLLER

LAWRENCE A. DODDS
TOWN ATTORNEY

GREG GRESS
WATER AND SEWER MANAGER

JOE HENDERSON
ZONING ADMINISTRATOR

DANIEL HOWARD
CHIEF OF POLICE

ELLEN MILLER
TOWN CLERK

RANDY ROBINSON
BUILDING OFFICIAL

M. ANTHONY STITH
FIRE CHIEF



DESIGN REVIEW BOARD

Wednesday, July 20, 2016 - 6:00 P.M.

Town Hall

- A. CALL TO ORDER
- B. APPROVAL OF MINUTES FROM JUNE 15, 2016
- C. CERTIFICATES OF APPROPRIATENESS—HISTORIC PROPERTIES
 - 1. 1914 Middle Street: Swallowtail Architecture, applicants, request approval for modifications to Sullivan's Island Landmark property. (TMS# 523-08-00-044)
- D. NON-HISTORIC PROPERTY DESIGN REVIEW
 - 1. 2414 Jasper Boulevard: Joel Adrian, applicant, requests approval of a single-family home construction and modification of the zoning standards for principal building square footage and second story side setbacks. (TMS# 529-06-00-034)
 - 2. 2002 I'on Avenue: Sammy Rhodes, applicant, requests approval of a single-family home construction and modification of the zoning standards for principal building square footage and design review of deed restricted attached addition. (TMS# 529-09-00-011)
- E. ITEMS FOR INFORMATION
 - 1. TOSI Water and Sewer Facility (old): Town Water and Sewer Department replacement of chain-link fencing with wood privacy fence at 1700 Middle Street. (TMS# 523-08-00-050)
 - 2. Standards and Guidelines for Historic Structures: Consideration of Design Review Board Study Group recommendations relating to historic design guidelines and potential modifications to the Zoning Ordinance to address elevating of historic structures.
- F. PUBLIC INPUT
- G. ADJOURN

CONCEPTUAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 1914 Middle Street, Sullivan's Island

Submittal Date: June 17, 2016

Meeting Date: July 20, 2016

Requested Approval: Conceptual Preliminary Final

Conceptual Review: As soon as the Owner and/or Design Professional are able to identify design objectives, Conceptual plans should be submitted to the Design Review Board for review and comment. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.**

The following items shall be included in the Conceptual Submittal:

- Application fee (*checks payable to Sullivan's Island Design Review Board*)
- Completed Application to Sullivan's Island Review Board form (**FORM A**)
- Completed Sullivan's Island DRB Request for Review form (**FORM B**)
- Completed Zoning Standards Compliance Worksheet (**FORM C**)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior Dimensions
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Optional:
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

Sullivan's Island Design Review Board

last modified January 2016

CONCEPTUAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

3000 B Middle Ct. • 300 Box 427 • Sullivan's Island, SC • 29405

1014 Middle Ct. Sullivan's Island

Project Address:

June 17, 2019

Submital Date:

July 20, 2019

Meeting Date:

Requested Approval:

Conceptual

Preliminary

Final

Conceptual Review: As soon as the owner and/or Design Professional are able to identify design objectives, Conceptual Plans should be submitted to the Design Review Board for review and comment. Please submit all items or requests. Incomplete submittals will be returned to the applicant and the project will not be part of the meeting agenda.

The following items shall be included in the Conceptual submittal:

- Application fee (checks payable to Sullivan's Island Design Review Board)
- Completed Application to Sullivan's Island Design Review Board Form (FORM A)
- Completed Sullivan's Island DRB Request for Review Form (FORM B)
- Completed Zoning Standards Compliance Worksheet (FORM C)
- Eleven (11) sets of Drawings (11" x 17" size). Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor (1/8" = 1'-0" OR 1/4" = 30'-0") Required for all new construction and for work which expands or is outside of an existing building footprint illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Areas, if applicable
 - Trees
 - Existing structures, if applicable
 - Site Plan (1/8" = 1'-0" OR 1/4" = 30'-0" scale) illustrating the following:
 - Existing structures, if applicable
 - Proposed new structures
 - All applicable survey information
 - Floor Plans (1/8" = 1'-0" scale) with the following requirements:
 - Exterior Dimensions
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of renovations and/or additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations (1/8" = 1'-0" scale) with the following requirements:
 - All exterior materials such as wood, stucco, roofing and/or masonry shall be graphically represented for intent.
 - Elevation markers must be rendered with standard depicting roof and/or deck overhangs, changes in wall plane or massing. Avoid of any graphically incorrect height and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Graphical representation of any 3-D perspective sketches and/or models are encouraged.
- Any relevant photographs or documentation that might be descriptive.

APPLICATION TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 1914 Middle Street, Sullivan's Island
 Submittal Date: June 17, 2016
 Meeting Date: July 20, 2016 Parcel I.D. (TMS#): _____

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

<input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input type="checkbox"/> Submittal is <i>within</i> the Historic District and is: _____ designated as Historic Resource _____ not designated as Historic Resource Historic Survey #: _____	<input checked="" type="checkbox"/> Submittal is <i>outside</i> the Historic District and _____ designated as Historic Resource Historic Survey #: <u>228</u>
--	--	--

Nature of Work: (circle all that apply)

Accessory Structure
 Demolition / Relocation
 Addition / Alteration
 New Construction

Owner's Name	<u>Michael & Kathy Gianoni</u>	Architect / Designer:	<u>Swallowtail Architecture</u>
Address:	<u>1914 Middle Street</u>	Contact #:	<u>1843-885-9400</u>
	<u>Sullivan's Island</u>	email:	_____
email:	<u>Mikegianoni@yahoo.com</u>	Contractor:	<u>Sammy Rhodes</u>
Contact #:	<u>781-290-7127</u>	Contact #:	<u>843-442-1162</u>
		email:	_____

Enter a Brief Description of the Project and Scope of Work to be Performed:
 We are renovating the existing home with no additional heated square footage. We are adding a pool house and a pool.

I (We) submit that the above information is true to the best of My (Our) knowledge. <u>Rachel Burton</u> <small>Print Applicant's Name</small>	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. <u>Kathleen Gianoni</u> <small>Owner's Signature</small>	Fee Received by _____ <div style="text-align: right;"><small>check #</small></div>
<small>Applicant Signature</small>	<small>Owner's Signature</small>	<small>check #</small>

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2000 B Middle St. • Sullivan's Island, SC • 29485 • (803) 733-1850

(FORM A)

Project Address: 1914 Middle Street, Sullivan's Island
 Meeting Date: July 20, 2018
 Submittal Date: June 17, 2018
 Requested Approval (check ONE): Conceptual Preliminary Final
 Parcel I.D. (TMS#):

Check one:

Submittal is outside the Historic District and is not designated as a Historic Resource

Submittal is within the Historic District and is not designated as a Historic Resource

Submittal is outside the Historic District and is designated as a Historic Resource

Historic Survey #: _____

Historic Survey #: 858

Nature of Work (circle all that apply):

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name	Michael & Kathy Cainoni	Architect / Designer	Swallowtail Architecture
Address	1914 Middle Street	Contact #:	843-882-9400
email:	Sullivan's Island	Contractor:	Sammy Bridges
Contact #:	781-200-7127	Contact #:	843-442-1182
		email:	

Enter a brief description of the project and scope of work to be performed:
 We are renovating the existing frame with a addition of heated square footage. We are adding a pool house and a pool.

As my agent to represent me in this application, I hereby affirm the information as applicant.

Owner's Signature: _____

Full Name: _____

Check 3

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 1914 Middle Street, Sullivan's Island

Submittal Date June 17, 2016

Meeting Date: July 20, 2016

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet:	<u>22,207</u>	sf
Lot Width:	<u>105.54'</u>	
Lot Depth:	<u>210.80'</u>	
Flood Zone / Base Flood Elevation:	<u>4E15 15MSL</u>	

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint:	<u>3702</u>	sf
Accessory Building Footprint:	<u>768</u>	sf
<hr/>		
Total Principal Bldg. Coverage Area:	<u>3070</u>	sf
(Principal Building plus Accessory Structure)		

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area	<u>3070</u>	sf
Covered Porches:	<u>2023</u>	sf
Open Decks / Steps:	<u>119</u>	sf
Pool / Patio:	<u>1173</u>	sf
Drives / Walks:		sf
Other Impervious Coverage	<u>6658</u>	sf
<hr/>		
Total Impervious Coverage		sf

Sec. 21-27 Principal Building Square Footage

First Floor	<u>1707</u>	sf
Second Floor	<u>2302</u>	sf
Third Floor		sf
Accessory Building	<u>768</u>	sf
<hr/>		
Total Principal Building Square Footage:		sf
(Principal Building plus Accessory Structure) <u>4777</u>		

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

** REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT*

Foundation: Existing Stucco

Roof: Standing seam metal roof

Walls: New pressure treated louvers

Windows: existing

Trim: Hardi trim

Doors: Anderson new french doors,
Mahogany front door

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

REQUEST FOR PLANNING REVIEW FORM (REV. 11/15)

Sullivan's Law Design Review Board

2000 E. 17th Ave. • Denver, CO 80202 • (303) 733-1100

Project Address: 1914 Middle Street, Denver, Colorado

Submitted Date: June 17, 2016

Meeting Date: July 26, 2016

BREAKDOWN OF COVERAGES

Sec. 21-28 Principal Building Coverage Area	
Principal Building Footprint	3702
Accessory Building Footprint	788
Total Principal Bldg. Coverage Area:	
Principal Building & Accessory Structures	3070

Sec. 21-27 Principal Building Square Footage	
First Floor	1707
Second Floor	2302
Third Floor	
Accessory Building	788
Total Principal Building Square Footage:	
Principal Building & Accessory Structures	4777

Total Information:	
Total Lot Size in Square Feet	22,207
Lot Width	108.24
Lot Depth	210.80
Flood Zone 1 Base Flood Elevation	4615.15MSL

Sec. 21-28 Impervious Coverage	
Principal Building Coverage Area	
Covered Porches	3070
Open Decks / Steps	788
Roof Paving	1174
Drives / Walks	688
Total Impervious Coverage	
Principal Building & Accessory Structures	5720

EXTERIOR MATERIALS

REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND FOR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT (REQUIRED FOR ALL PRIMARY AND FINAL SUBMITTALS ONLY)

Foundation/Exterior Stucco	_____
Walls	New masonry facing masonry
Roof	existing
Windows	existing
Doors	Anderson new french doors
Roofing	existing
Staircase	existing

Sec. 21-11 Standards of Neighbored Compatibility

NOTE: Applicant's attention will be paid to the Standards of Neighbored Compatibility. Please include a narrative statement of how the standards are being met in detail at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighbored Compatibility.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable (no ticket fee)

City of Denver Planning Department
1914 Middle Street, Denver, CO 80202

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 1914 Middle Street, Sullivan's Island
 Submittal Date: June 17, 2016
 Meeting Date: July 20, 2016

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: ____ min.; ____ comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>existing</u> sf	✓	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>30% sf</u> maximum	✓	N/A	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>existing</u> sf	✓	25% _____ sf			
	I	21-28 Third Story	as per formula: Enter Result <u>n/a</u> sf	✓	15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result <u>existing</u> sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result <u>existing</u> sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

SEC. 21-43 B. REQUEST FOR HISTORIC EXEMPTIONS (FORM C.1)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 1914 Middle Street, Sullivan's Island

Submittal Date: June 17, 2016

Meeting Date: July 20, 2016

		1	2	3	4	5	
		Zoning Ordinance Reference Section	Total Area of Existing Structures (sf)	DRB Authority for Exemption	Applicant's Request for Relief in Ft./Sq. Ft.	Percent (%) Relief Requested	NOTES
HISTORIC EXEMPTIONS	A	21-43 Existing Principal Building Square Footage	✓	50% Enter Result: _____sf			
	B	21-43 Existing Principle Building Coverage Area	✓	50% Enter Result: _____sf			
	C	21-43 Existing Impervious Coverage Area	✓	50% Enter Result: _____sf			

SWALLOWTAIL

1914 Middle Street Renovation

PHOTOS OF EXISTING HOME

View from Middle Street



View from Middle Street



View from Central Ave.



View of Side



1914 Middle Street

Photos of Existing



View from Driveway



Additional View from Driveway



View from Middle Street



View from Central Ave.

Gianoni Residence

Renovation



1914 Middle Street • Sullivan's Island • SC

No.	Issued For	Date
1	Issued For DRB Review	June 10, 2016
2	Issued For Permit for lattice and handrails	June 14, 2016
3		

Stamp



SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN

843-865-9402 • SwallowtailArchitecture.com
814 N Cedar Street, Summerville, SC, 29483

GIANONI RESIDENCE SULLIVAN'S ISLAND
RENOVATION

1914 Middle Street
Town of Sullivan's Island, South Carolina

Print Date: 6/14/16

Checked: RB

Drawn: RB

Drawing File: Title Sheet

Drawing No.: T1.0

**SULLIVAN'S ISLAND
RESIDENTIAL ZONING**

Address: 1914 Middle Street, Sullivan's Island
South Carolina

Lot High Area: 22207 sq ft

Flood Zone: AE 15
Base Flood Elevation: 15 MSL

TMS #: #529-05-00-42

City Name: Town of Sullivan's Island

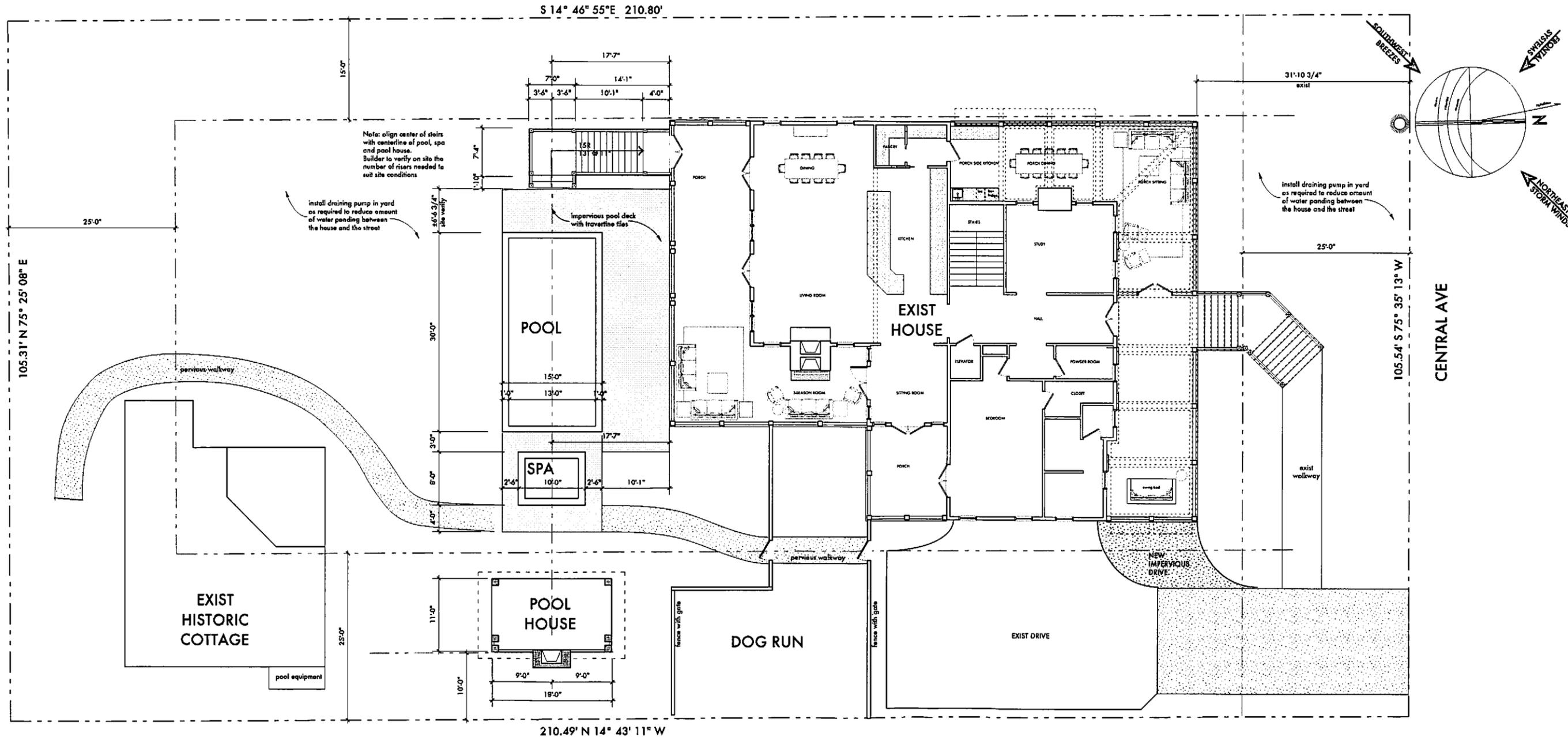
House Setbacks:
Front: 25 ft. and additional over 20', and 1' back every 1' height
Sides: 15' and 25'
Rear: 25'
Accessory Structures Setbacks:
Sides: 10'

Impervious Coverage Allowed 6662.1 sq ft
House 2302 sq ft
Guest house and porch 844 sq ft
Porches 2023 sq ft
Steps and AC 119 sq ft
Pool, spa, coping & deck 1173 sq ft
Pool pavillion 197 sq ft
Total Impervious 6658 sq ft
Pervious
Pervious pavers in Drive 1837 sq ft
gravel 448
new walkway 457 sq ft

Principal Building Coverage Allowed: 3331.05 sq ft
Increase 20% 3997.26 sq ft
existing house 2302 sq ft
existing cottage 768 sq ft
Total existing 3070 sq ft

Principal Building Square Footage Allowed: 4120.7 sq ft
existing house 1707 + 2302 4009 sq ft
existing cottage 768 sq ft
Total existing 4777 sq ft
existing exceeds limit, no change with this work
Accessory Structures
area allowed: 750 sq ft
actual area: 197 sq ft
height allowed: less than 15' high
actual: 14'-8 1/4"

Information from Survey
1) TMS# 529-05-00-042
2) REFERENCE PLAT BOOK R PAGE 93
3) FIRM PANEL 45019C0539-J



No.	Issued For	Date
1	Issued For DRB Review	June 10, 2016
2	Issued For Permit for lotline and handrails	June 14, 2016
3		

Stamps

STATE OF SOUTH CAROLINA
RACHEL BEVERLEY BURTON
Summerville, SC
No. 8440
REGISTERED ARCHITECT
June 14, 2016

STATE OF SOUTH CAROLINA
SWALLOWTAIL ARCHITECTURE LLC
Summerville, SC
No. 100760
REGISTERED ARCHITECT

SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
843.885.5400 • swallowtailarch.com
814 Cedar Street, Summerville, SC 29483

GIANONI RESIDENCE
SULLIVAN'S ISLAND
RENOVATION
1914 Middle Street
Town of Sullivan's Island, South Carolina

Plot Date	6/14/16
Checked	RB
Drawn	RB
Drawing Title	Site Plan

Drawing No. **C1.0**

Site Plan
Scale: 1/16" = 1'-0"

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1 Existing North Elevation
Scale: 1/8" = 1'-0"



replace existing roof with standing seam metal roof, color as selected by Owner. Typ all existing roofs

add new operable shutters with hardware to second story windows

replace existing roof with standing seam metal roof, color as selected by Owner. Typ all existing roofs

add new operable shutters with hardware to second story windows

new trim at existing porch beam

trim existing col to 10" x 10" built up columns

new batens shutter at side of porch

new pl railing with ipse cap

new porch floor and water table trim at porch, if existing requires replacement

clean exist lobby piers

new pl 1x6 louvers in exist frame, paint finish

new door as selected by Owner

new wall mounted gas light on either side of front door, as selected by Owner shown dotted

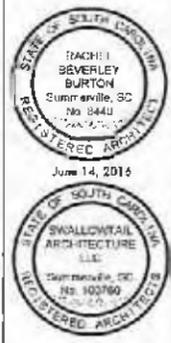
insert screen

new batens shutter at side of porch beyond

new pl 1x6 louvers in exist frame, paint finish
ipse treads on new stairs, painted risers, paint fin or new newel posts w/ copper cap

1 Proposed North Elevation
Scale: 1/8" = 1'-0"

No.	Issued For	Date
1	Issued For ORE Review	June 10, 2016
2	Issued For Permit for porch and handrails	June 14, 2016
3		



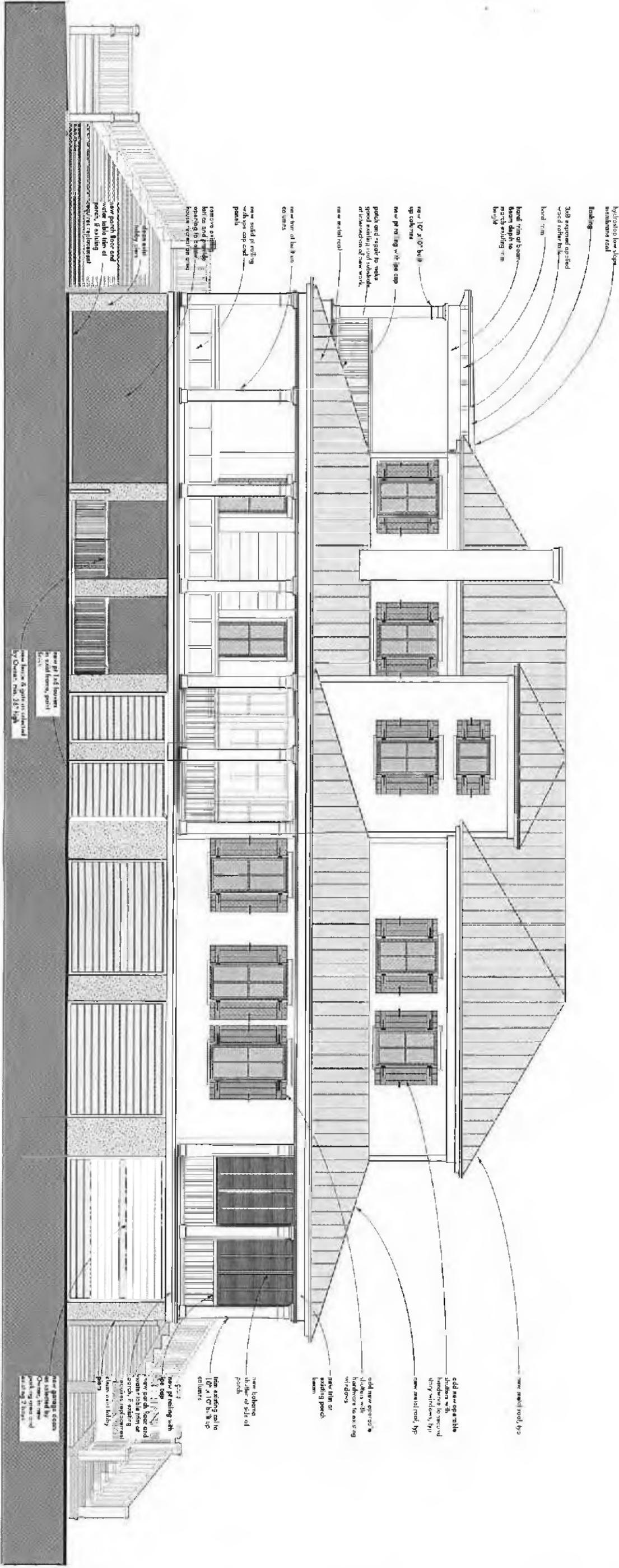
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ARCHITECTURE AND INTERIOR DESIGN
843 835-9400 • swallowtailarch.com
114 E. Lake Street, Summerville, SC 29583

GIANONI RESIDENCE SULLIVAN'S ISLAND RENOVATION
1114 Middle Street
Town of Sullivan's Island, South Carolina

Plot Date	6/14/16
Checked	RB
Drawn	RB
Drawing Title	North Elevation

Drawing No. **A2.0**

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1 Proposed East Elevation
Scale: 1/8" = 1'-0"

No.	Issued For	Date
1	Issued For DRB Review	June 10, 2016
2	Issued For Permit for lattice and handrails	June 14, 2016
3		



SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
813-865-9400 • Swallowtailarchitecture.com
814 N Cedar Street, Summerville, SC 29483

GIANONI RESIDENCE SULLIVAN'S ISLAND
RENOVATION
1914 Middle Street
Town of Sullivan's Island, South Carolina

Drawn	RB
Checked	RB
Plot Date	6/14/16
Project Title	East Elevation
Drawn by No.	A2.1



1 Existing South Elevation
Scale: 1/8" = 1'-0"



1 Proposed South Elevation
Scale: 1/8" = 1'-0"

No	Issued For	Date
1	Issued For DRB Review	June 10, 2016
2	Issued For Permit for work on new materials	June 14, 2016
3		

Stamps



SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
101 N. 10th Street, Summerville, SC 29583
853.880.1000 • local@swallowtail.com

GIANONI RESIDENCE SULLIVAN'S ISLAND RENOVATION
101 N. 10th Street
Town of Sullivan's Island, South Carolina

Plot Date	6/14/16
Checked	RB
Drawn	RB
Drawing Title	South Elevation

Drawing No. **A2.2**

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1 Existing West Elevation
Scale: 1/8" = 1'-0"

- replace existing roof with standing seam metal roof, color as selected by Owner. Typ all existing roofs
- add new operable shutters with hardware to second story windows
- replace existing roof with standing seam metal roof, color as selected by Owner. Typ all existing roofs
- add new operable shutters with hardware to first floor windows
- new trim at existing porch beam
- trim existing col to 10" x 10" built up columns
- inner screen
- new pt railing with top cap
- new water table trim at porch, if existing requires replacement
- clean exit lobby piers
- new pt louver louvers in exist frame, paint finish



1 Proposed West Elevation
Scale: 1/8" = 1'-0"

- hydrostep low slope membrane roof
- Re-siding
- 3x8 exposed applied wood rafter tails
- hard trim
- hard trim w/ beams. Beam depth to match existing trim height
- new pt railing with top cap
- new 10" x 10" built up columns
- patch and repair to make good existing roof at intersection of new work.
- hard trim at face of porch floor
- inner screen
- trim existing col to 10" x 10" built up columns
- new pt railing with top cap
- clean exit lobby piers
- new pt louver louvers in exist frame, paint finish
- ice tracks on new stairs, painted risers, paint fin on new newel posts w/ copper cap
- new pt angled louvers
- ice tracks on new stairs, painted risers, paint fin on new newel posts w/ copper cap

No.	Issued For	Date
1	Issued For DBB Review	June 10, 2016
2	Issued For Permit for lotline and handrails	June 14, 2016
3		

Stamps

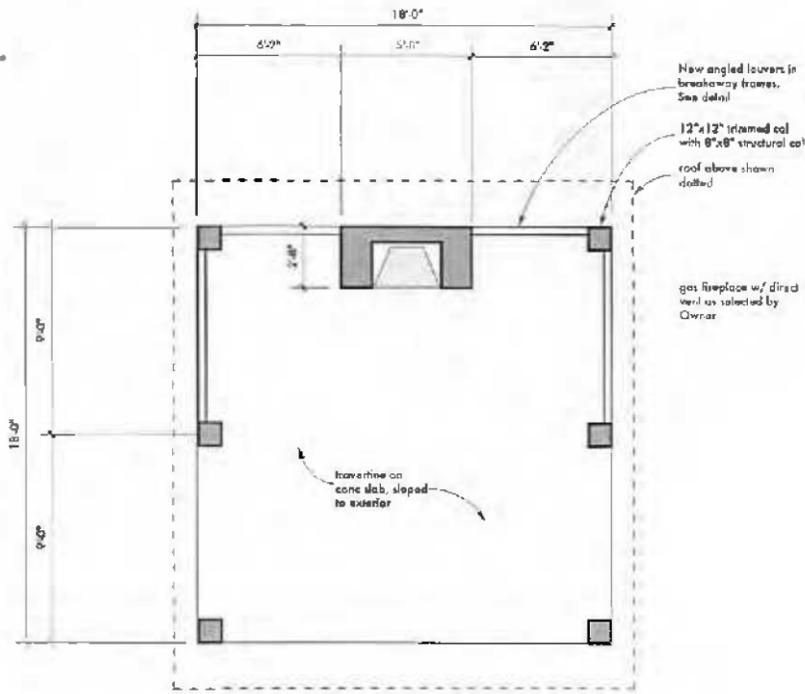
SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
848 BUCKINGHAM • Land, Architecture, Interiors
814 E. Cape Street, Summerville, SC 29485

GIANONI RESIDENCE SULLIVAN'S ISLAND RENOVATION
1914 Middle Street
Team of Sullivan's Island, South Carolina

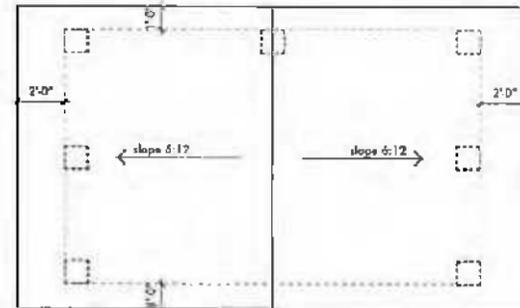
Plot Date	6/14/16
Checked	RB
Drawn	RB
Drawing Title	West Elevation

Drawing No. **A2.3**

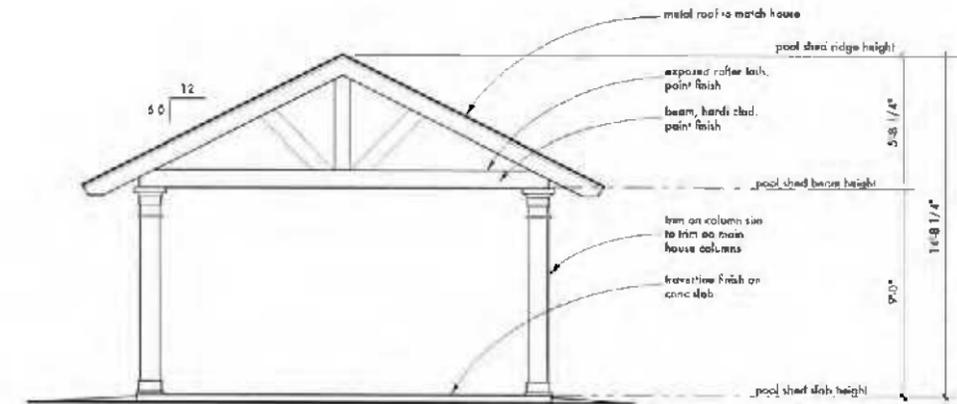
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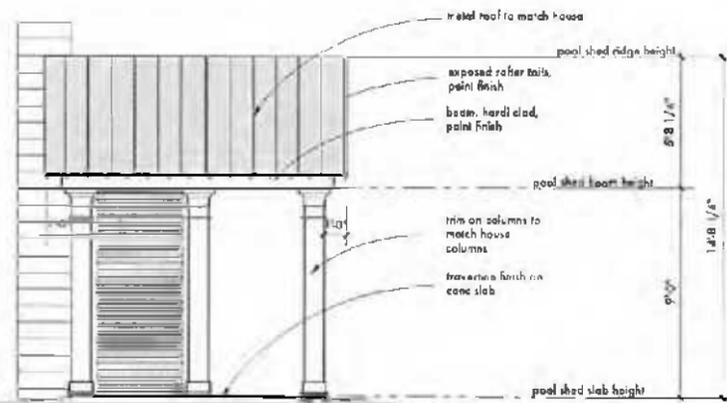
1 Pool Shed Floor Plan
Scale: 1/4" = 1'-0"



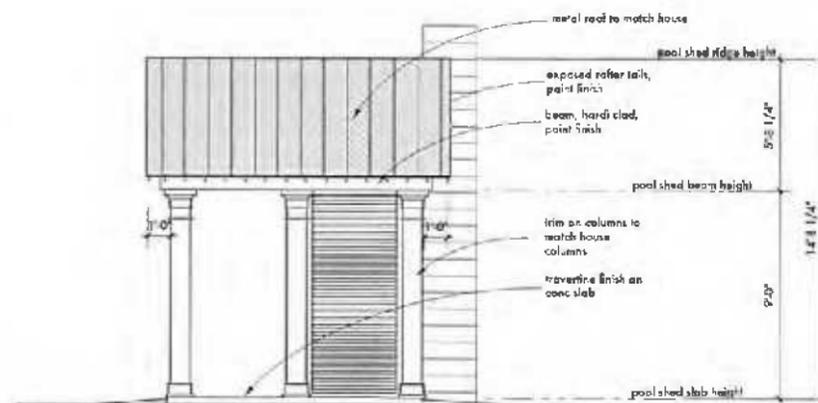
2 Pool Shed Roof Plan
Scale: 1/4" = 1'-0"



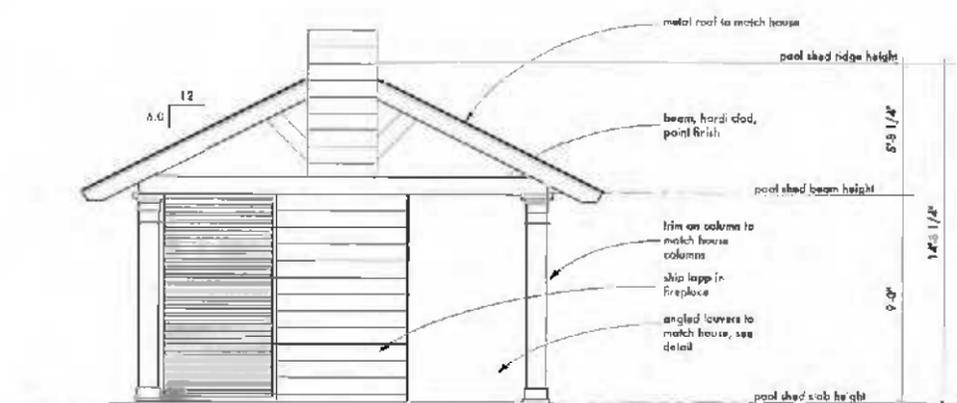
3 Pool Shed Front Elevation
Scale: 1/4" = 1'-0"



4 Pool Shed Left Side Elevation
Scale: 1/4" = 1'-0"



5 Pool Shed Right Side Elevation
Scale: 1/4" = 1'-0"



3 Pool Shed Rear Elevation
Scale: 1/8" = 1'-0"

No.	Issued For	Date
1	Issued For DRB Review	June 10, 2016
2	Issued For Permit for kitchen and hardwood	June 14, 2016
3		

Stamps:

STATE OF SOUTH CAROLINA
RACHEL BEVERLEY
EXULTION
SUMMERVILLE, SC
No. 8480
REGISTERED ARCHITECT
June 14, 2016

STATE OF SOUTH CAROLINA
SWALLOWTAIL ARCHITECTURE, LLC
SUMMERVILLE, SC
No. 100750
REGISTERED ARCHITECT

SWALLOWTAIL ARCHITECTURE, LLC
ARCHITECTURE AND INTERIOR DESIGN
803-252-2105 • swallowtailarchitecture.com
814 Todd Street, Summerville, SC 29403

SWALLOWTAIL ARCHITECTURE, LLC

GIANONI RESIDENCE
SULLIVAN'S ISLAND
RENOVATION
1913 Middle Street
Town of Sullivan's Island, South Carolina

Plot Date	6/14/16
Checked	RB
Drawn	RB
Drawing Title	Pool Shed
Drawing No.	A3.0

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CONCEPTUAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2414 JASPER BLVD

Submittal Date: 6-17-16

Meeting Date: 7-20-16

Requested Approval: Conceptual Preliminary Final

Conceptual Review: As soon as the Owner and/or Design Professional are able to identify design objectives, Conceptual plans should be submitted to the Design Review Board for review and comment. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.**

The following items shall be included in the Conceptual Submittal:

- Application fee (*checks payable to Sullivan's Island Design Review Board*)
- Completed Application to Sullivan's Island Review Board form (FORM A)
- Completed Sullivan's Island DRB Request for Review form (FORM B)
- Completed Zoning Standards Compliance Worksheet (FORM C)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior Dimensions
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Optional:
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

Sullivan's Island Design Review Board

last modified January 2016

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2414 JASTER BLVD
 Submittal Date: 6-17-16
 Meeting Date: 7-20-16 Parcel I.D. (TMS#): 529-06-00-034

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

Submittal is *outside* the Historic District, not classified historic, and requests DRB relief.

Submittal is *within* the Historic District and is:

Submittal is *outside* the Historic District and

_____ designated as Historic Resource
 not designated as Historic Resource

_____ designated as Historic Resource

Historic Survey #: N/A Historic Survey #: _____

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Brian Wells Architect / Designer: JOEL ADRIAN
 Address: 893 Tupelo Bay Dr Contact #: 843-819-8947
 email: Wellsbi@bellsouth.net email: STUDIO291@HOMESC.COM
 Contractor: TBD
 Contact #: 843-514-1790 Contact #: _____
 email: _____ email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:

BUILD NEW SINGLE FAMILY RESIDENCE

<p>I (We) submit that the above information is true to the best of My (Our) knowledge.</p> <p><u>JOEL ADRIAN</u> Print Applicant's Name</p> <p><u>[Signature]</u> Applicant Signature</p>	<p>If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.</p> <p><u>[Signature]</u> Owner's Signature</p>	<p>Fee Received by _____</p> <p>check # _____</p>
---	---	---

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2414 JASPER BLVD
 Submittal Date 6-17-16
 Meeting Date: 7-20-16

BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>21,465</u> sf
Lot Width:	<u>105'</u>
Lot Depth:	<u>205'</u>
Flood Zone / Base Flood Elevation:	<u>AE-14'</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>2,451</u> sf
Accessory Building Footprint:	<u>N/A</u> sf
Total Principal Bldg. Coverage Area: (Principal Building plus Accessory Structure)	<u>2,451</u> sf

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>2,451</u> sf
Covered Porches:	<u>891</u> sf
Open Decks / Steps:	<u>209</u> sf
Pool / Patio:	<u>1,646</u> sf
Drives / Walks:	<u>1,320</u> sf
Other Impervious Coverage	<u>56</u> sf
Total Impervious Coverage	<u>6,111</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>2,451</u> sf
Second Floor	<u>1,969</u> sf
Third Floor	<u>0</u> sf
Accessory Building	<u>0</u> sf
Total Principal Building Square Footage: (Principal Building plus Accessory Structure)	<u>4,420</u> sf

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: <u>STUCCO OVER CMU</u>	Roof: <u>5-V CRIM? MTL</u>
Walls: <u>HARDI - CEMENT FIBER</u>	Windows: <u>ANDERSON CLAD</u>
Trim: <u>HARDI CEMENT FIBER</u>	Doors: <u>ANDERSON CLAD</u> <u>FRONT = MAHOGANY</u>

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable (no relief req.)

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

2414 JASPER BLVD

Submittal Date:

6-17-16

Meeting Date:

7-20-16

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: 15' min.; 40' comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet		100%	SEE 2/AS L SIDE ELEV.		
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result 3,220 sf	✓	20% _____sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result 30% sf maximum	✓	N/A	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result 4,047 sf		25% 1,012 sf	373 #	9.2%	4,420 #
	I	21-28 Third Story	as per formula: Enter Result _____sf	N/A	15% _____sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF SOUTH CAROLINA, AND I SHALL ENDEAVOR TO CORRECT ANY ERRORS OR OMISSIONS AS SOON AS THEY ARE DISCOVERED.



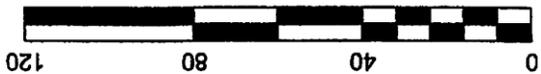
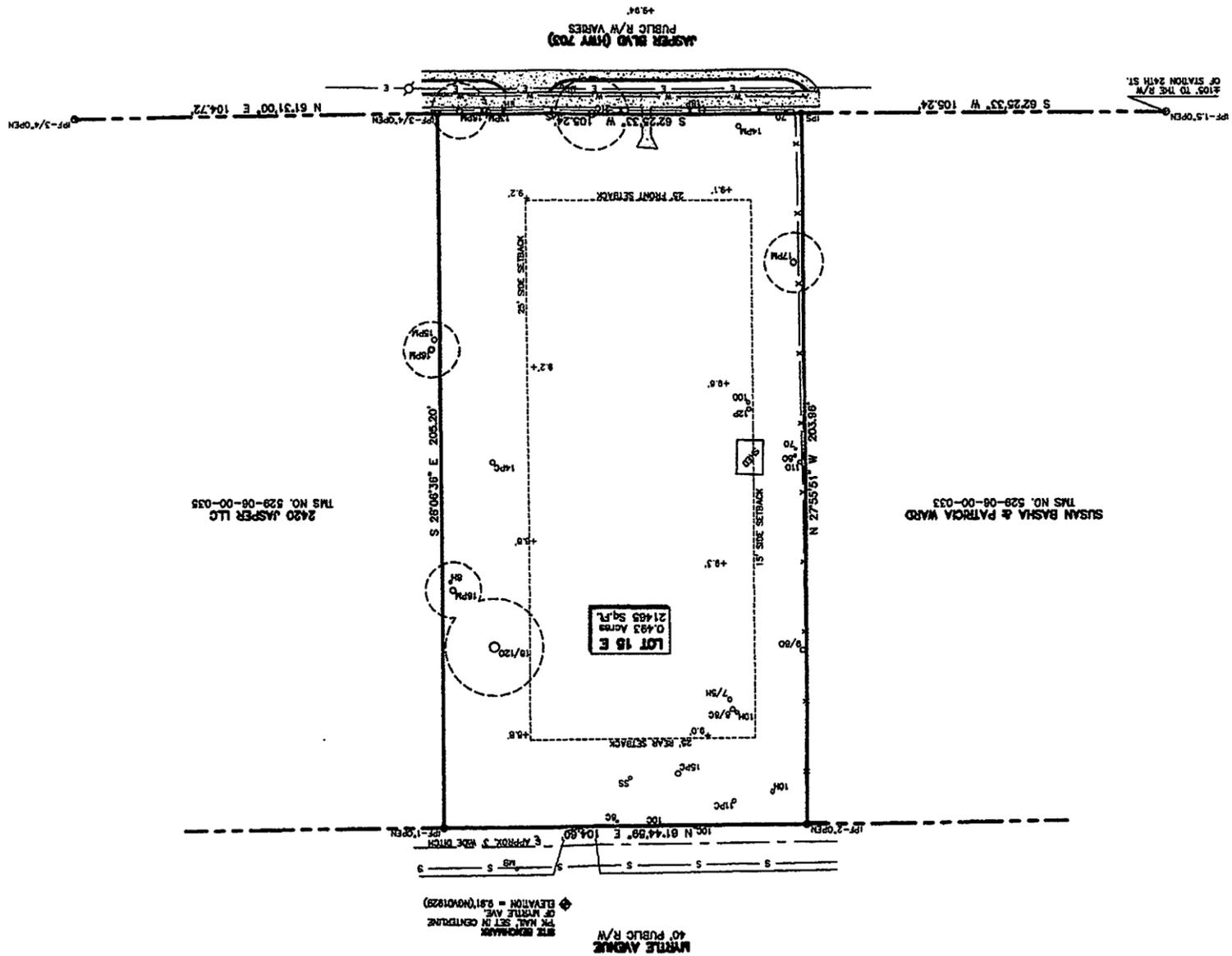
LEGEND

- BOUNDARY LINE & CONCRETE MONUMENT FOUND
- BOUNDARY LINE & CORNER FOUND (AS DESCRIBED)
- BOUNDARY LINE & CALCULATED POINT
- ADJACENT BOUNDARY LINE
- RIGHT OF WAY LINE
- EASEMENT LINE (AS DESCRIBED)
- SETBACK LINE (SEE NOTE #9)
- FENCE LINE (4' CHAIN-LINK)
- OVERHEAD ELECTRIC LINE
- UNDERGROUND SEWER LINE
- UNDERGROUND WATER LINE
- MAIL BOX
- SS SEWER STUB-OUT
- WS WATER SERVICE
- POWER POLE
- +0.5' SPOT ELEVATION (NGVD1929)
- CONCRETE

TREE LEGEND

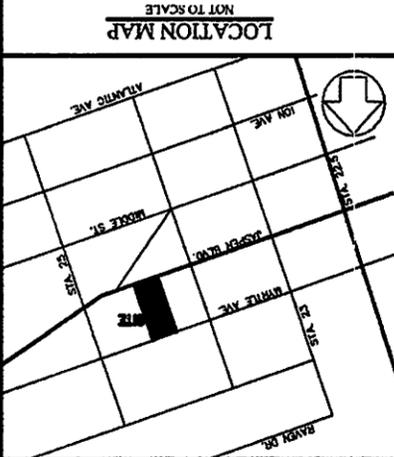
- C - CEDAR
- H - HACKBERRY
- P - PINE
- PC - PECAN
- PM - PINELETT

- REFERENCES
1. PLAT BY H.S. LAMBLE DATED APRIL, 1899, RECORDED IN PLAT BOOK D, PAGE 184.
 2. TMS NO. 529-06-00-034

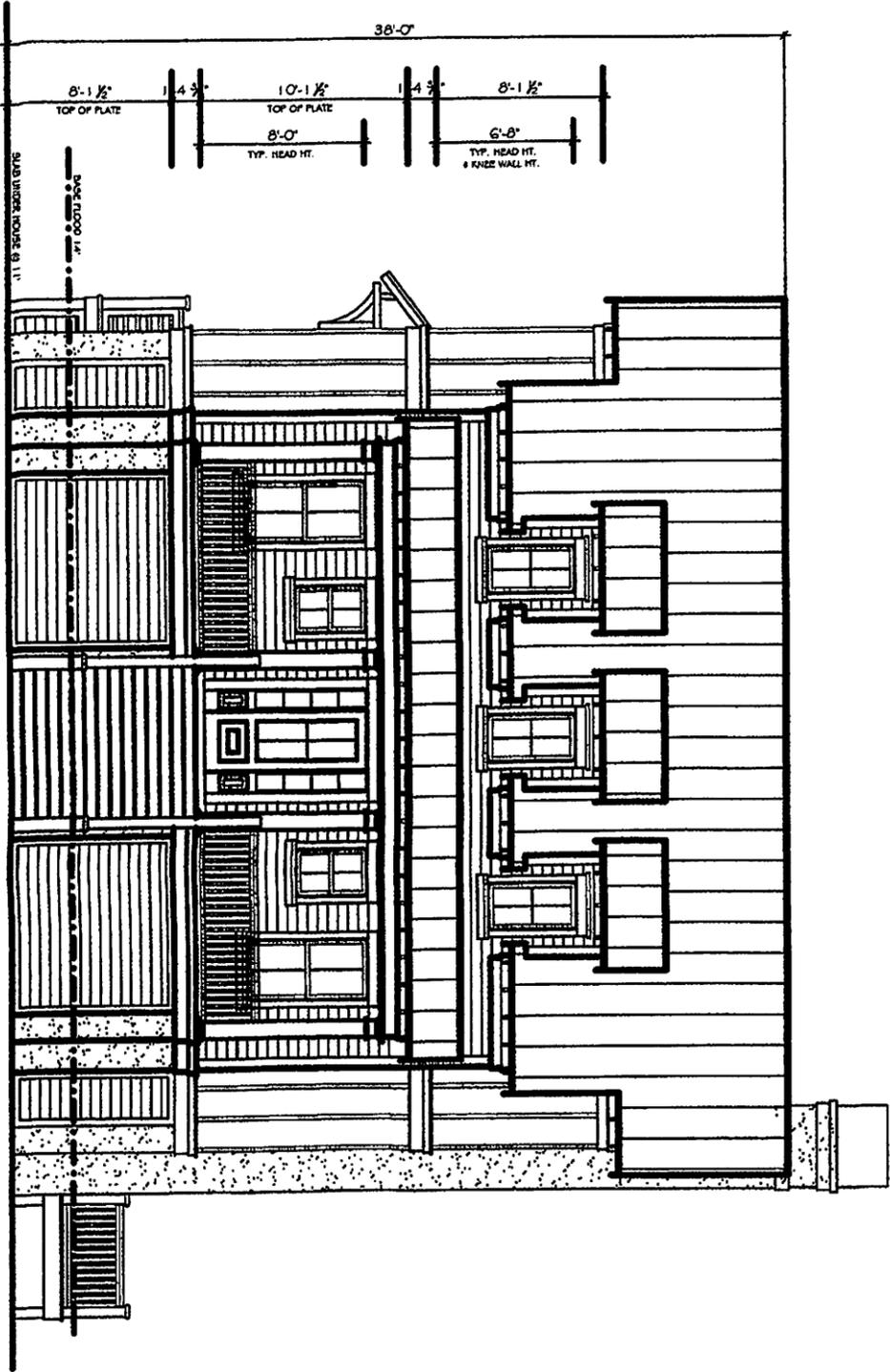


SURVEY SHOWING
 2414 JASPER BOULEVARD
 LOT 15 E, MOUNTAINEVILLE
 TMS NO. 529-06-00-034 (0.493 ACRES)
 PROPERTY OF
 LYNN MCGRAW LOY
 LOCATED IN
 THE TOWN OF SULLIVANS ISLAND,
 CHARLESTON COUNTY, SOUTH CAROLINA
 DATE: MAY 25, 2016
 SCALE: 1" = 40'
 REVISIONS: 5/31/2016 (ADDED SETBACKS)
 DAVIS LAND SURVEYING, LLC
 1932 DAVANT CIRCLE
 MOUNT PLEASANT, SC 29664
 843.607.0499 info@davislandsurveying.com
 www.davislandsurveying.com

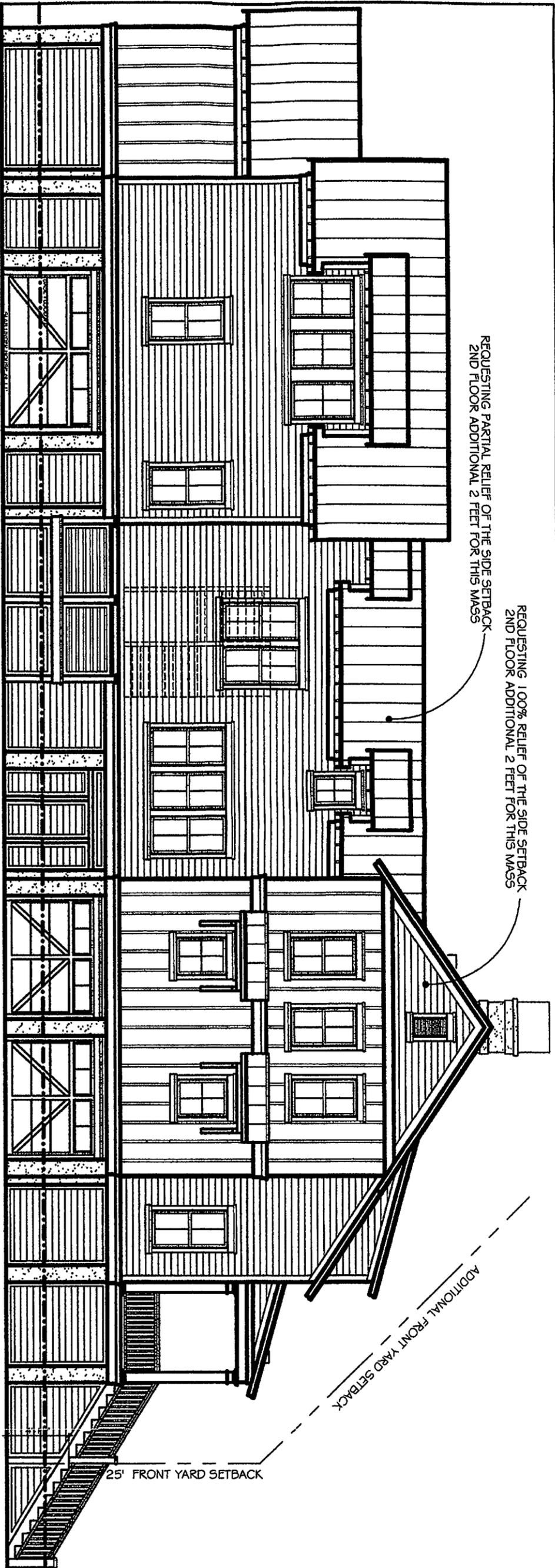
- NOTES
1. AREA DETERMINED BY THE COORDINATE METHOD.
 2. PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE (AE1,14) AS PER FEMA FLOOD INSURANCE RATE MAP NUMBER 45019C0394.
 3. COMMUNITY-PANEL 450418 0539 4.
 4. EFFECTIVE DATE: NOVEMBER 17, 2004.
 5. NO UNDERGROUND EXPLORATION PERFORMED IN THIS SURVEY.
 6. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THE SURVEYED PROPERTY IS FOR DESCRIPTIVE PURPOSES ONLY.
 7. THIS SURVEY IS BASED ON LISTED REFERENCES ONLY.
 8. THIS PROPERTY MAY BE SUBJECT TO ADDITIONAL FACTS THAT WOULD BE REVEALED BY A CURRENT AND ACCURATE TITLE REPORT FOR THIS SURVEY. TREE IDENTIFICATIONS NOT MADE BY A CERTIFIED ARBORIST.
 9. UNDERGROUND UTILITIES MARKED BY OTHERS.
 10. PROPERTY IS ZONED RS(RC-2). SETBACKS AS FOLLOWS:
 FRONT - 25'
 REAR - 25'
 SIDES - 40' TOTAL (10' MINIMUM ONE SIDE)



1 FRONT ELEVATION



2 LEFT SIDE ELEVATION



ISSUED FOR CONSTRUCTION

OWNER SIGNATURE: _____

CONTRACTOR SIGNATURE: _____

DATE: _____

Project
 New Residence
 2414 Jasper Blvd., Sullivan's Island South Carolina
 Sheet Title
 FRONT & LEFT SIDE ELEVATIONS

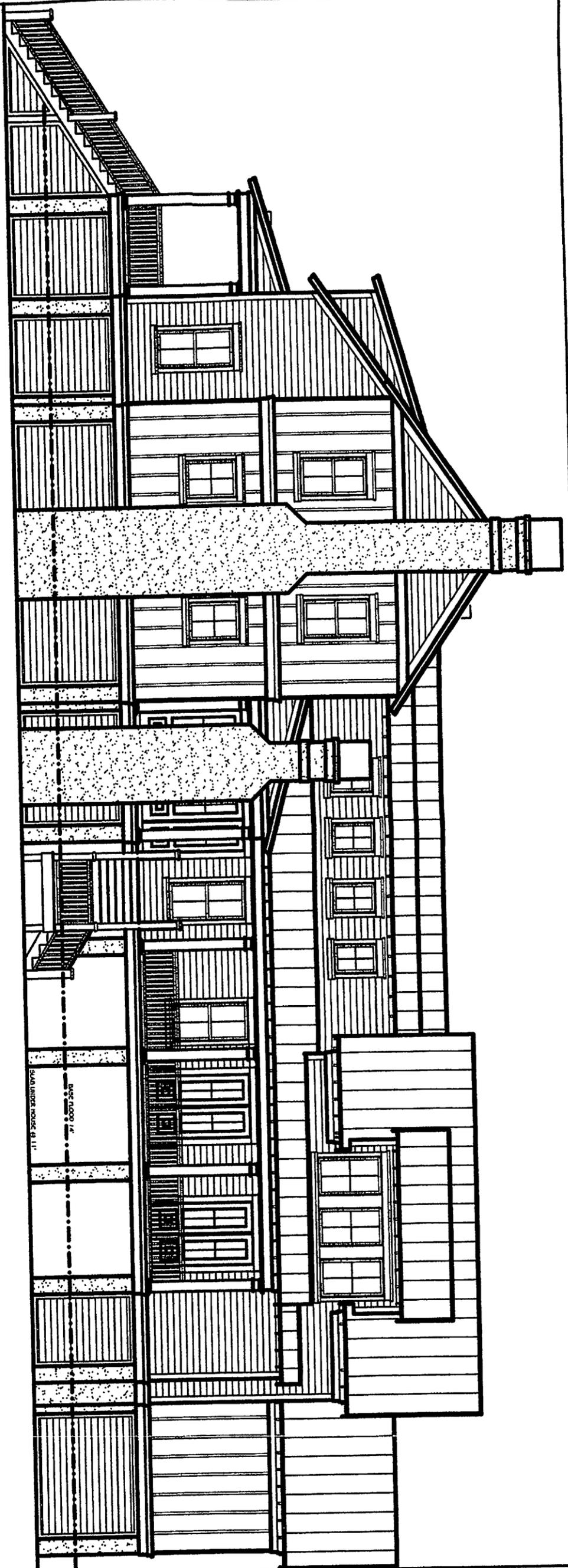
DESIGNED BY	J. A. Johnson
DRAWN BY	J. A. Johnson
CHECKED BY	J. A. Johnson
DATE	08/12
SCALE	AS SHOWN
PROJECT NUMBER	16-291-614
SHEET NUMBER	A3

291
 Studio
 2911
 LLC

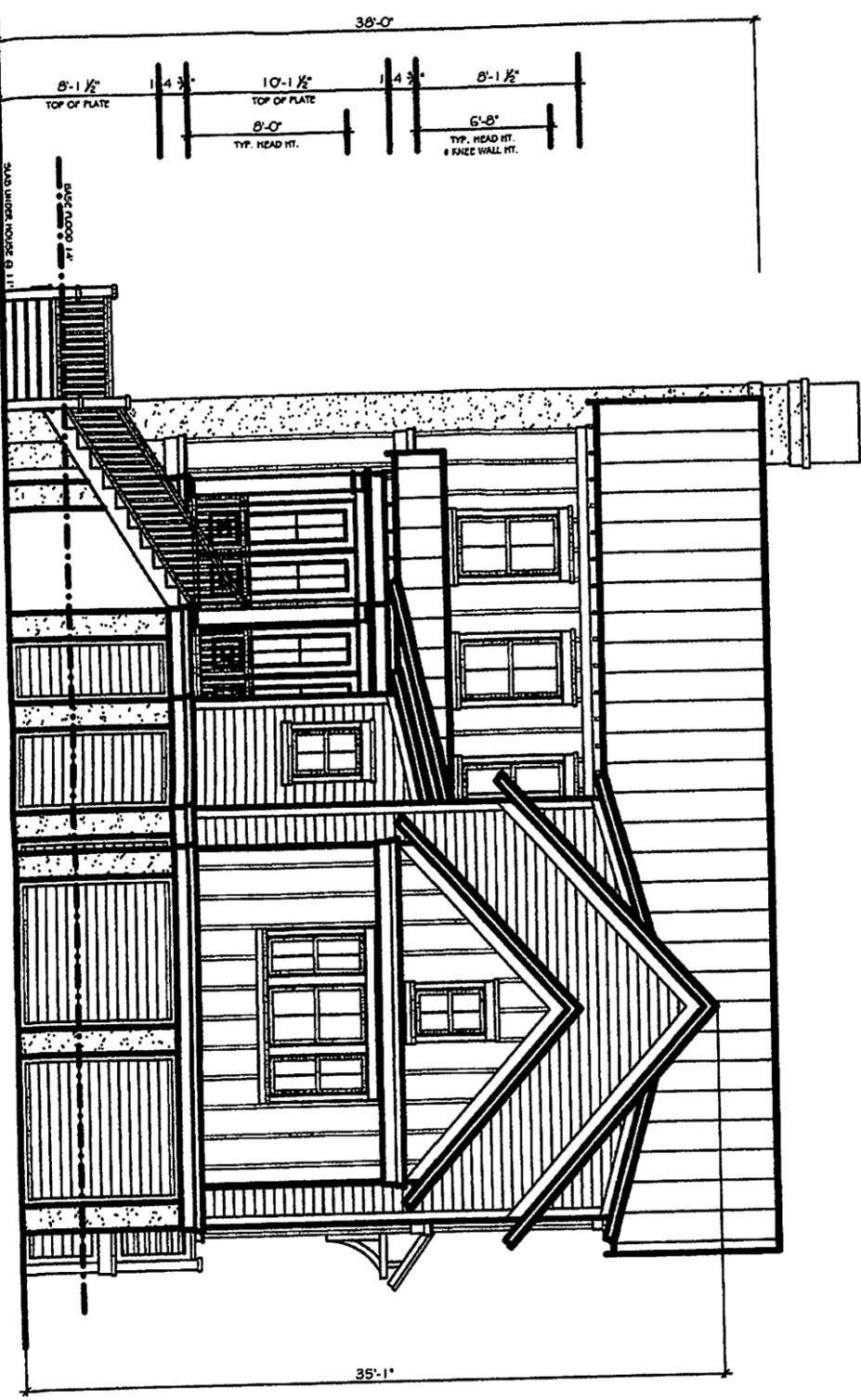
291 Studio Firm, Inc.
 Suite C123
 Oceanfront, Sullivan's Island, SC 29929
 P. 803.875.2911

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2 RIGHT SIDE ELEVATION
SCALE: 1/8" = 1'-0"



1 REAR ELEVATION
SCALE: 1/8" = 1'-0"



ISSUED FOR CONSTRUCTION
OWNER SIGNATURE: _____
CONTRACTOR SIGNATURE: _____
DATE: _____

Project Number	16-291-614
Sheet C	of 12
DATE	A4

Project
New Residence
2414 Jasper Blvd., Sullivan's Island South Carolina
Sheet Title
REAR & RIGHT SIDE ELEVATIONS

Blank space for notes or additional information.

Small text block containing project details or notes.

291
Studio
291
LLC
295 Sweet Fern Drive
Oconee, GA 31514
P. (803) 613-0047

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2002 ION AVENUE
 Submittal Date: 6/21/16
 Meeting Date: _____ Parcel I.D. (TMS#): _____

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

<input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input type="checkbox"/> Submittal is <i>within</i> the Historic District and is: _____ designated as Historic Resource _____ not designated as Historic Resource Historic Survey #: _____	<input checked="" type="checkbox"/> Submittal is <i>outside</i> the Historic District and _____ designated as Historic Resource Historic Survey #: _____
--	--	---

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name	<u>SAM Rhodes</u>	Architect / Designer:	<u>CAEL McCANTS</u>
Address:	<u>3029 Middle ST</u>	Contact #:	<u>843 906 1500</u>
	<u>Sullivan's Isl</u>	email:	
email:	<u>SAMrhodes@hotmail.com</u>	Contractor:	<u>Rhodes Residential</u>
Contact #:	<u>843-442-1162</u>	Contact #:	<u>843 442 1162</u>
		email:	<u>SAMrhodes@hotmail.com</u>

Enter a Brief Description of the Project and Scope of Work to be Performed:

New Construction
Reduced SQUARE footage by over 400. Turned Home
So MACT IS NOT ON DOUTH AVE. Pool FACES the street.

I (We) submit that the above information is true to the best of My (Our) knowledge. <u>SAM Rhodes</u> Print Applicant's Name Applicant Signature	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. <u>[Signature]</u> Owner's Signature	Fee Received by _____ check # _____
---	--	--

FINAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: _____

Submittal Date: _____

Meeting Date: _____

Requested Approval:

Conceptual

Preliminary

Final

Final Review:

All Applicants are strongly encouraged to submit for Conceptual Review prior to submitting for Final Review. Only the simplest of requests is likely to pass final review without having first received Conceptual Approval. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.**

The following items shall be included in the Final Submittal:

- Application fee (*checks payable to Sullivan's Island Design Review Board*)
- Completed Application to Sullivan's Island Review Board form (**FORM A**)
- Completed Sullivan's Island DRB Request for Review form (**FORM B**)
- Completed Zoning Standards Compliance Worksheet (**FORM C**)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint, illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines, and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Location of HVAC/ Equipment stands and electrical meter
 - Driveways, guest parking, garage back-up areas
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior dimensions for exterior walls and porches
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Additional front yard setback shown on both side elevations for clarity.
 - Optional:
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

Submittal Date:

Meeting Date:

2002 Fox Avenue
6/21/16

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in FL/ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: ____ min.; ____ comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>3403.5</u> sf	✓	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>30%</u> sf maximum	✓	N/A	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4169</u> sf	✓	25% <u>5211</u> sf	<u>333.5</u>	<u>8%</u>	<u>4502</u>
	I	21-28 Third Story	as per formula: Enter Result _____ sf	✓	15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2002 Iron Ave

Submittal Date 6/21/16

Meeting Date: _____

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet: 22690 sf
Lot Width: _____
Lot Depth: _____
Flood Zone / Base Flood Elevation: A15

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint: 3403.5 sf
Accessory Building Footprint: _____ sf
Total Principal Bldg. Coverage Area: 3403.5 sf
(Principal Building plus Accessory Structure)

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area: 3341 sf
Covered Porches: _____ sf
Open Decks / Steps: _____ sf
Pool / Patio: _____ sf
Drives / Walks: _____ sf
Other Impervious Coverage: _____ sf
Total Impervious Coverage: _____ sf

Sec. 21-27 Principal Building Square Footage

First Floor: 2560 sf
Second Floor: 1107 sf
Third Floor: _____ sf
Accessory Building: 835 sf
Total Principal Building Square Footage: 4502 sf
(Principal Building plus Accessory Structure)

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: Block Stucco
Walls: HARD
Trim: WOOD painted

Roof: metal
Windows: Andersen
Doors: Andersen

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

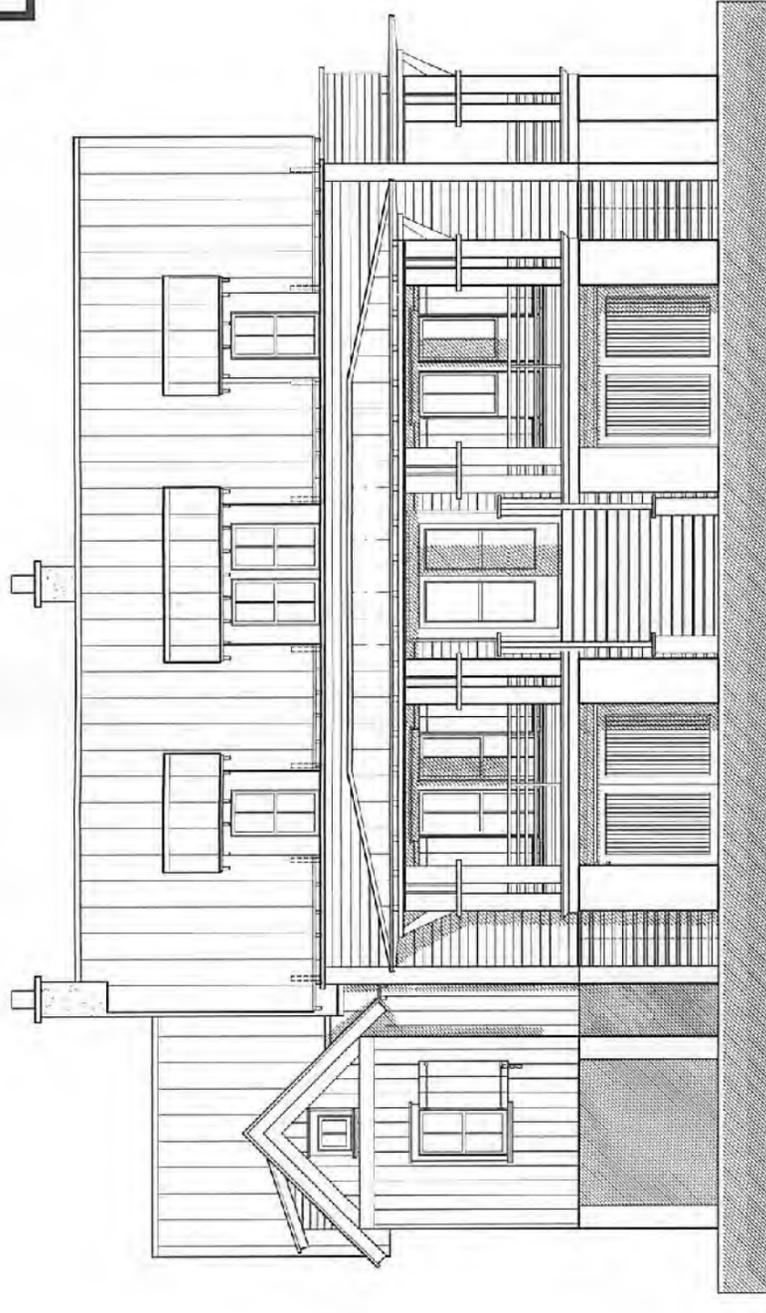
(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

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2002 ION AVE.
SULLIVAN'S ISLAND, SC

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3. GARAGE PLAN
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- E2. FIRST FLOOR ELECTRICAL PLAN
- E3. SECOND FLOOR ELECTRICAL PLAN

- GENERAL NOTES:
1. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK.
 2. USE OF SAFE METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIALS IS CONTRACTORS RESPONSIBILITY.
 3. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 GRADE M1, TYPE 1, COMPRESSIVE STRENGTH OF MASONRY SHALL BE 1000 PSI (MIN.) OF THE GROSS AREA.
 4. PIER MASONRY CORES SHALL BE FILLED WITH 3000 PSI GROUT AND SHALL CONFORM TO ASTM C-986. GROUT MIX SHALL BE 1 PART PORTLAND CEMENT TO 3 PARTS SAND WITH A MAX. SLOMP OF 8" (MORTAR MAY NOT BE USED).
 5. ALL REINFORCING BARS SHALL CONFORM TO ASTM SPEC. A618 GRADE 60.
 6. CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MIN. COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. MIN. SLOMP TO 4" MAX. MINIMUM COVER FOR REBARS SHALL BE 3".
 7. PROVIDE METAL FLASHING AT ALL TYPICAL FLASHING LOCATIONS.
 8. ALL STRUCTURAL WOOD TO BE #2 SOUTHERN PINE (19% MO) WITH EWP-400 PSI, F=6675 PSI, AND EWP, 400,000 PSI UNLESS OTHERWISE NOTED.
 9. ALL FASTENERS SHALL BE COMMON OR HOT DIPPED GALVANIZED STEEL UNLESS OTHERWISE NOTED TO STEEL AND BRONZE UNLESS OTHERWISE NOTED FOR BRONZE. STEEL PLATES SHALL BE ASTM A36 AND BOLTS SHALL BE A-325.
 10. ALL WINDOWS, DOORS, & VENTS TO MEET WIND LOAD REQUIREMENTS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 11. ALL WALLS, STEPS AND GARAGE DOORS BELOW FLOOD LEVEL TO BE CLASS 1 OR 5.
 12. ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURE SPECS. SEE MANUFACTURERS SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS.
 13. ALL EXTERIOR MATERIALS: SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC AND ROOFING SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHOP DRAWINGS AND MANUFACTURERS SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND/OR APPLICATION.
 14. PROVIDE DBL. LISTS, UNDER WALLS.
 15. PARALAM BEAMS (P-LAM) TO BE SIZED BY MFR.
 16. WINDOW AND DOOR HEADERS TO BE 2-SYP #2 2X10'S W/ 12" PLYWOOD BETWEEN, G.L.D. & N.L.D. (UNLESS OTHERWISE NOTED).
 17. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS INSTALLED. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS FOR ALL INSTALLED ITEMS.

THIS DRAWING IS A PART OF A SET OF 24 X 36" DRAWINGS AND SHALL NOT BE USED WITH CUT ALL OTHER DRAWINGS IN THE SET

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front elevation
1/4" = 1'-0"

★ DATE
★ 5-6-18
★

★ THIS PLAN IS PROPERTY OF M3 DESIGNS LLC. UNAUTHORIZED USE IS PROHIBITED
★
★ R E V I S I O N S
★ 6-20-18 revisions per dtb

★ SQUARE FOOTAGE
★ FIRST FLOOR 2860 sq.ft.
★ SECOND FLOOR 1107 sq.ft.
★ STUDIO 835 sq.ft.
★ TOTAL HEATED 4502 sq.ft.

★  ★
★ M3 DESIGNS LLC
★ CARL MCNITT II
★ 843 - 971 - 1751
★ mc3designs@comcast.net

★ THIS DRAWING IS A PART OF A SET OF 24" X 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET
★
★ PROJECT
★ 2002 ION AVE.
★ SULLIVAN'S ISLAND, SC
★ SHEET NAME
★ FRONT ELEVATION

★ SHEET
★ 7

DATE
5-8-16

THIS PLAN IS PROPERTY OF A&S DESIGNS LLC. UNAUTHORIZED USE IS PROHIBITED.
 REVISIONS
 6-20-16 revisions per dth

SQUARE FOOTAGE
 FIRST FLOOR 2560 sq.ft.
 SECOND FLOOR 1107 sq.ft.
 STUDIO 835 sq.ft.
 TOTAL HEATED 4502 sq.ft.

A&S DESIGNS LLC
 CAROLYN AUSTIN
 853-974-1975
 mc5designs@comcast.net

OUT ALL OTHER DRAWINGS IN THE SET

PROJECT
 2002 ION AVE.
 SULLIVANS ISLAND, SC
 SHEET NAME
 RIGHT SIDE ELEVATION

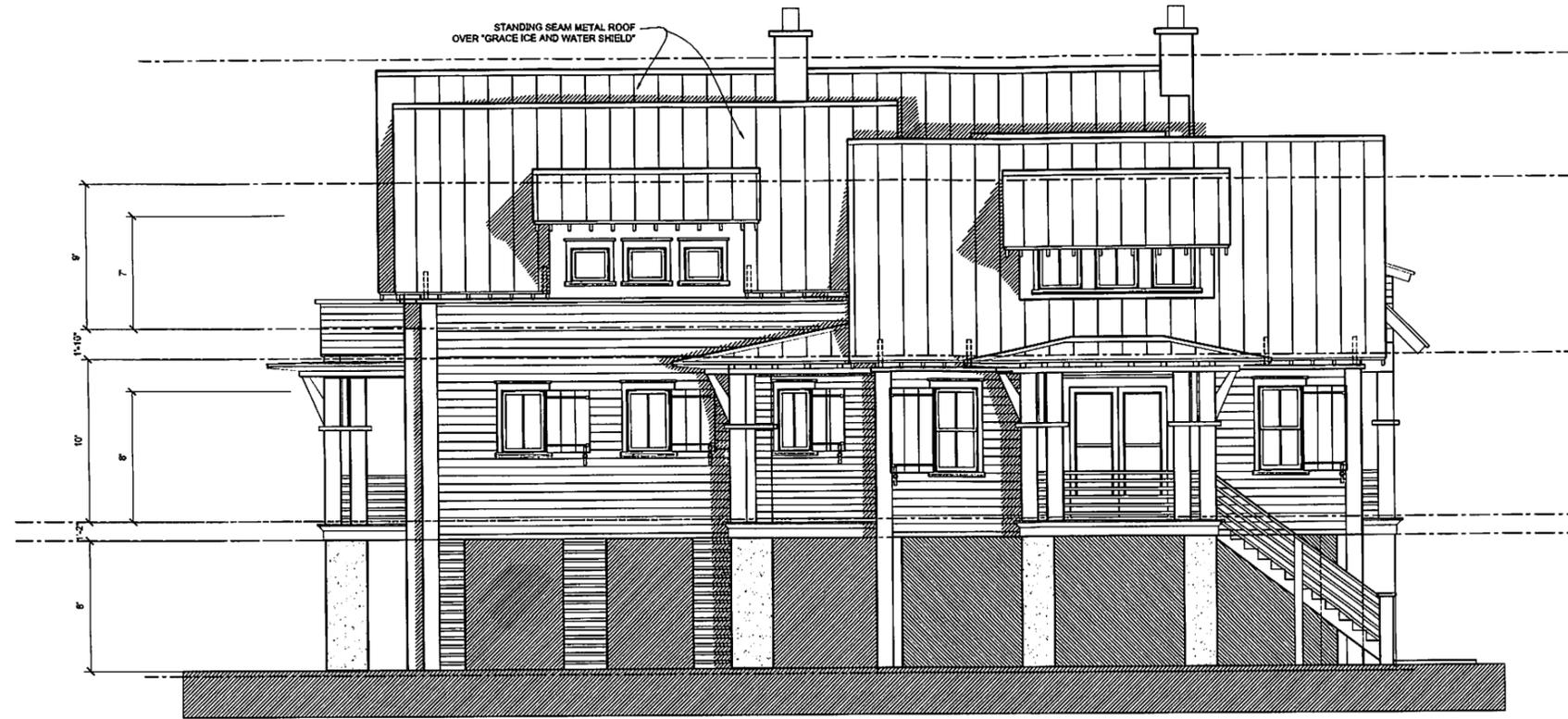
SHEET
 8

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 NOT FOR
 CONSTRUCTION



P.T. 1x8 WITH 1\"/>

right elevation
 1/4" = 1'-0"



rear elevation
1/4" = 1'-0"



rear elevation - shown without annex
1/4" = 1'-0"

DRB SET
NOT FOR
CONSTRUCTION

DATE
5-6-16

REVISIONS
6-20-16 revisions per drb

SQUARE FOOTAGE
FIRST FLOOR 2580 sq.ft.
SECOND FLOOR 1107 sq.ft.
STUDIO 835 sq.ft.
TOTAL HEATED 4502 sq.ft.

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PROJECT
2002 ION AVE
SULLIVAN ISLAND, SC
SHEET NAME
REAR ELEVATION

SHEET
9

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PROJECT
SULLIVANS ISLAND, SC
2002 ION AVE
SHEET NAME
LEFT SIDE ELEVATION

M3 DESIGNS LLC
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SQUARE FOOTAGE
FIRST FLOOR 2563 sq. ft.
SECOND FLOOR 1107 sq. ft.
STUDIO 835 sq. ft.
TOTAL HEATED 4502 sq. ft.

REVISIONS
6-20-16 revisions per drb

DATE
5-6-16

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