

PATRICK M. O'NEIL
MAYOR

TOWN OF SULLIVAN'S ISLAND

ANDY BENKE
TOWN ADMINISTRATOR

JASON BLANTON
DEPUTY ADMINISTRATOR/COMPTROLLER

LAWRENCE A. DODDS
TOWN ATTORNEY

GREG GRESS
WATER AND SEWER MANAGER

JOE HENDERSON
ZONING ADMINISTRATOR

DANIEL S. HOWARD
CHIEF OF POLICE

ELLEN MILLER
TOWN CLERK

RANDY ROBINSON
BUILDING OFFICIAL

M. ANTHONY STITH
FIRE CHIEF



DESIGN REVIEW BOARD

Wednesday, June 15, 2016 - 6:00 P.M.

Town Hall

- A. CALL TO ORDER
- B. APPROVAL OF MINUTES FROM MAY 18, 2016
- C. SPECIAL EXCEPTIONS
 1. 2668 Goldbug Avenue: Allen Porter, applicant, requests final approval for the historic designation of an existing cottage in accordance with Z.O. §21-94, and preliminary approval for the RS District Historic Special Exception in accordance with Z.O. §21-20 C. (2). (TMS# 529-07-00-008)
 2. 2850 Jasper Boulevard: Beau Clowney Architects, applicants, request approval of historic restoration plans for a designated Traditional Island Resource and conceptual approval for the RS District Historic Special Exception in accordance with Z.O. §21-20 C. (2). (TMS# 529-07-00-030)
 3. 2662 Jasper Boulevard: Tal Askins, applicant, requests conceptual approval of historic restoration plans for a designated Sullivan's Island Landmark property and conceptual approval for the RS District Historic Special Exception in accordance with Z.O. §21-20 C. (2). (TMS# 529-07-00-014)
- D. CERTIFICATES OF APPROPRIATENESS—HISTORIC PROPERTIES
 1. 1738 Middle Street: Beau Clowney Architects, applicants, request final approval for historic restoration, addition, and pool on a property designated as a Sullivan's Island Landmark. Modifications are requested from the zoning standards for required side setbacks. (TMS# 523-08-00-044)
 2. 2824 I'on Avenue: Cathy Curtis, applicant, requests conceptual approval for an addition to a Sullivan's Island Landmark and removal of nonconforming living space below FEMA's Base Flood Elevation. (TMS# 529-06-00-064)
 3. 2650 Jasper Boulevard: James Wiley, applicant, requests approval to restore and elevate an existing Traditional Island Resource and conceptual approval construct a new single-family residence. Modifications are requested from the zoning standards for principal building square footage. (TMS# 529-07-00-012)
- E. COMMERCIAL DESIGN REVIEW
 1. Shades of Charleston: Steve Cordina, applicant, requests preliminary approval for modifications to the front façade of a building located in the CC-District (Community Commercial) at 2205 Middle Street. (TMS# 529-09-00-024)
 2. Commercial District Parking Lot: Rick Graham, applicant, requests for approval of a BZA approved special exception to establish a parking lot use at 2101 Middle Street. (TMS# 529-09-00-019)

3. Obstinate Daughter Restaurant: Doug Godley, applicant, requests parking plan approval for increased seating in accordance with the Parking Plan Requirements noted in Zoning Ordinance Section 21-143.D. (TMS# 529-09-00-017)

F. NON-HISTORIC PROPERTY DESIGN REVIEW

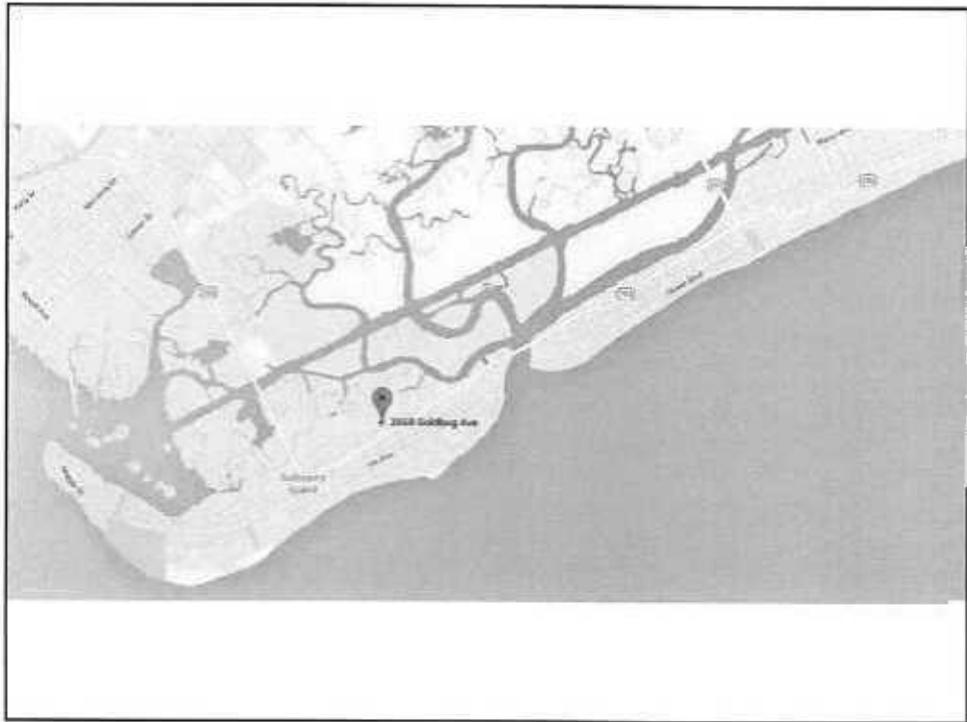
1. 3003 Brownell Avenue: Level Properties LLC., applicant, requests final approval of a new home construction and modification from the zoning standard for principal building square footage and principal building coverage. (TMS# 529-12-00-084)
2. 2002 Iron Avenue: Sammy Rhodes, applicant, requests approval of a new single-family home and relief from the zoning standards for principal building square footage, principal building coverage and a deed restricted attached addition. (TMS# 529-09-00-011)

G. ITEMS FOR CONSIDERATION

1. Standards and Guidelines for Historic Structures: Town staff requests consideration of Design Review Board Study Group recommendations relating to historic design guidelines and potential modifications to the Zoning Ordinance to address elevating of historic structures.

H. PUBLIC INPUT

I. ADJOURN



**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2668 Goldbug Avenue, Sullivan's Island
 Submittal Date: 5/20/2016
 Meeting Date: 6/15/2016 Parcel I.D. (TMS#): _____

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

<input checked="" type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input type="checkbox"/> Submittal is <i>within</i> the Historic District and is: _____ designated as Historic Resource _____ not designated as Historic Resource Historic Survey #: _____	<input type="checkbox"/> Submittal is <i>outside</i> the Historic District and _____ designated as Historic Resource Historic Survey #: _____
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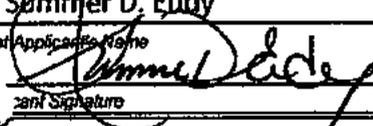
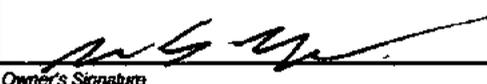
Nature of Work: (circle all that apply) Historic Designation - Special Exception

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: <u>Allen S. Porter</u>	Architect / Designer: <u>Matthew Wilks</u>
Address: <u>2668 Goldbug Ave</u>	Contact #: <u>843-991-6811</u>
<u>Sullivan's Island, 29482</u>	email: <u>mwilks@mwdesignsc.com</u>
email: <u>porterallens@yahoo.com</u>	Contractor: <u>TBD</u>
Contact #: <u>843-530-1351</u>	Contact #: _____
	email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:

This application was deferred by motion of the DRB at the April 20, 2016 meeting - the application is for historic designation of the existing cottage pursuant to the special exception ordinance.
 Section 21-20/21-140/21-178

I (We) submit that the above information is true to the best of My (Our) knowledge. <u>Summer D. Eudy</u> Print Applicant's Name  Applicant Signature	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.  Owner's Signature	Fee Received by _____ check # _____
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REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2668 GOLDBUG AVENUE

Submittal Date _____

Meeting Date: _____

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size In Square Feet:	(high) <u>34113</u>	sf
Lot Width:	<u>105</u>	
Lot Depth:	<u>368</u>	
Flood Zone / Base Flood Elevation:	<u>AE 13</u>	

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint:	<u>2335</u>	sf
Accessory Building Footprint:	<u>1191</u>	sf
Total Principal Bldg. Coverage Area:	<u>3526</u>	sf
(Principal Building plus Accessory Structure)		

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area	<u>2335</u>	sf
Covered Porches:	<u>1638</u>	sf
Open Decks / Steps:	<u>284</u>	sf
Pool / Patio:	<u>1540</u>	sf
Drives / Walks:	<u>1000</u>	sf
Other Impervious Coverage	<u>1700</u>	sf
Total Impervious Coverage	<u>8497</u>	sf

Sec. 21-27 Principal Building Square Footage

First Floor	<u>2335</u>	sf
Second Floor	<u>1235</u>	sf
Third Floor	<u>-</u>	sf
Accessory Building	<u>1191</u>	sf
Total Principal Building Square Footage:	<u>4761</u>	sf
(Principal Building plus Accessory Structure)		

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

*** REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT**

Foundation: _____

Roof: _____

Walls: _____

Windows: _____

Trim: _____

Doors: _____

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

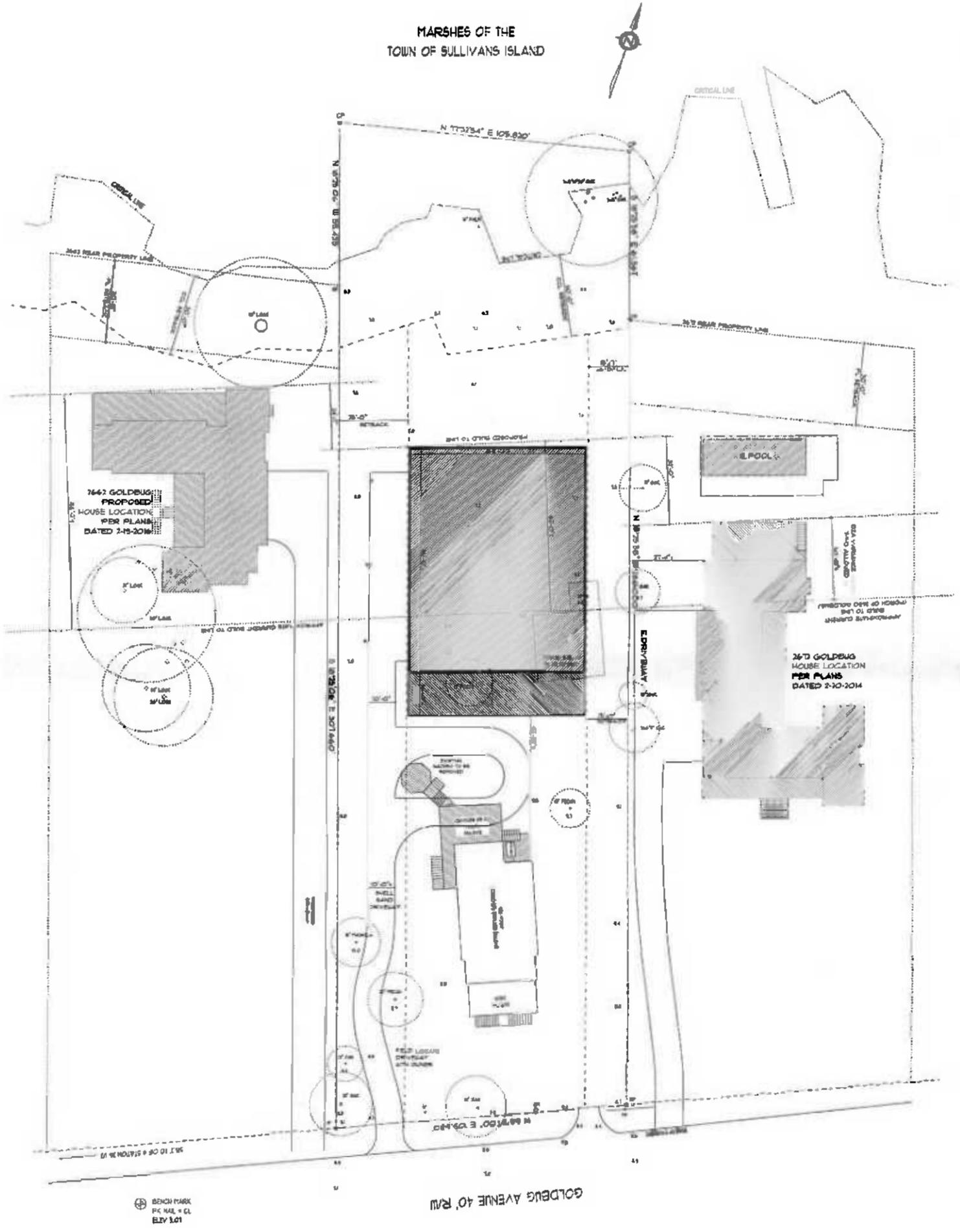
2668 GOLDBUG AVENUE

Submittal Date:

Meeting Date:

		Zoning Ordinance Reference Section	Zoning Standard	√ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft/ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	Y	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	Y	15%			
	C	21-22 Side Setback	Per lot; Enter Result: <u>15</u> min.; <u>40</u> comb.	Y	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet		100%			
	E	21-22 Rear Setback	25 feet	Y	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>2578</u> sf	Y	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>9212</u> sf	Y	20% _____ sf			
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4751</u> sf	Y	25% _____ sf			
	I	21-28 Third Story	as per formula: Enter Result <u>n/a</u> sf	N/A	15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result <u>43</u> sf	Y	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result <u>30</u> sf	Y	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	Y	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor		1 foot	1 FT		
	N	21-32 Foundation Enclosure	Check Ordinance	Y	Adjust for Neighborhood Compatibility			
O	21-34 Site Lighting	Check Ordinance	Y	Adjust for Neighborhood Compatibility				

MARSHES OF THE
TOWN OF SULLIVANS ISLAND



SITE PLAN
SCALE: 1" = 20'-0"

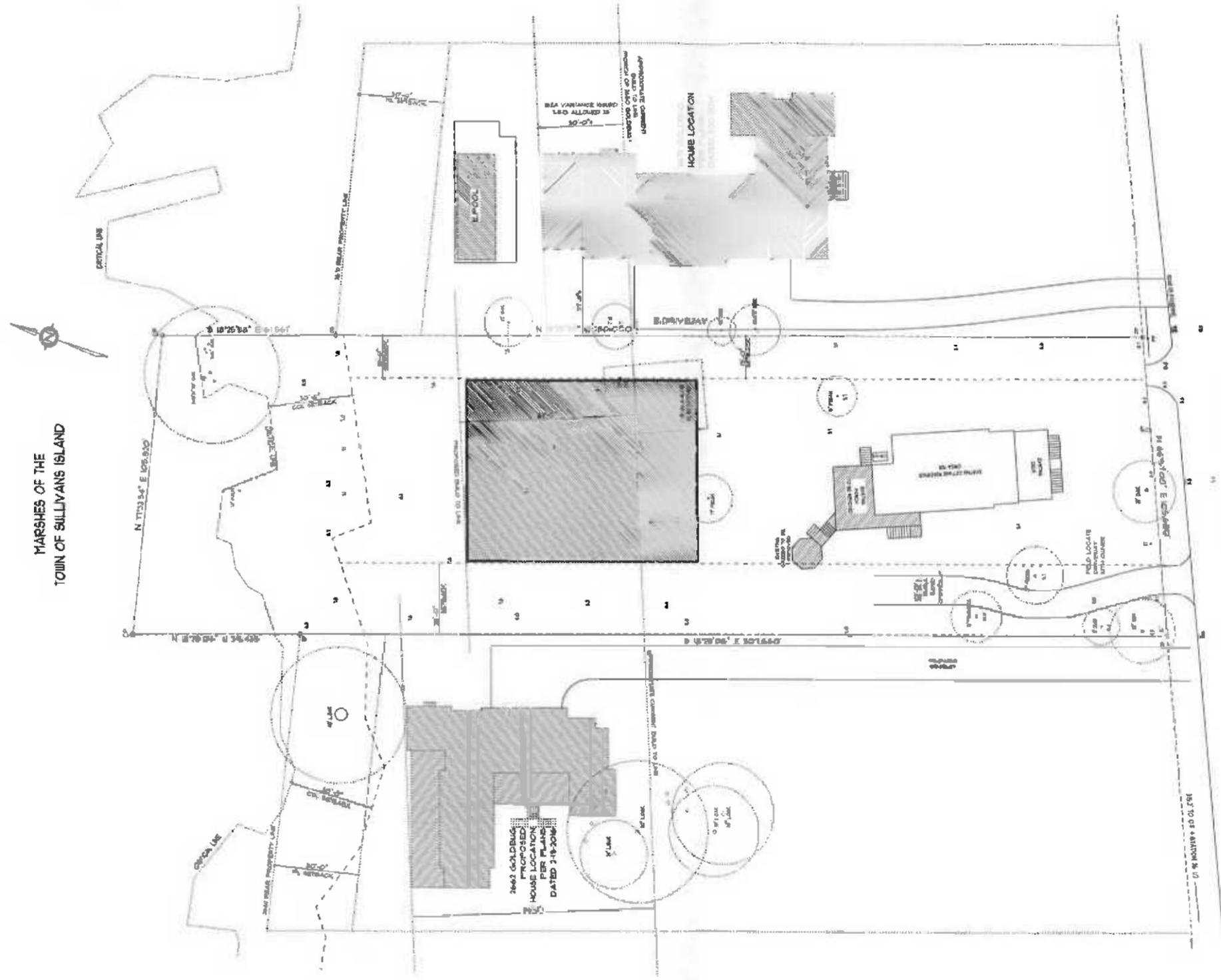
THIS PLAN DOES NOT REPRESENT A SURVEY OR A PLAT. IT IS A SITE PLAN TO HELP LOCATE THE PROPOSED HOUSE ONLY. THE EXACT LAYOUT AND PLACEMENT SHALL BE PROVIDED BY A LICENSED SURVEYOR. BOUNDARIES, EXISTING LOCATIONS, TREES AND SETBACKS TAKEN FROM SURVEY BY JOHN E. GARDNER, JR. RLS DATED MARCH 5TH 2010, LABELED "SURVEY OF 2668 GOLDBUG AVENUE AREA LOT 14 - HOLLYVILLE CASH EASE." ALL INFORMATION SHALL BE VERIFIED BY THE BUILDER PRIOR TO CONSTRUCTION.

DATE	1/25
APP. NO.	B-2010
DATE	1/25

DESIGN
MW DESIGN, LLC
10441 WILSON ROAD
CHARLESTON, SC 29405
WWW.MWDESIGN.COM

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

PORTER RESIDENCE



MARSHES OF THE
TOWN OF SULLIVAN ISLAND

GOLDBUG AVENUE 40' R/W

SITE PLAN
SCALE: 1" = 20'-0"

THIS PLAN DOES NOT REPRESENT A CONTRACT. IT IS A PRELIMINARY SITE PLAN TO BE USED FOR INFORMATIONAL PURPOSES ONLY. THE EXACT LAYOUT AND DIMENSIONS SHALL BE DETERMINED BY THE SURVEYOR AND SHALL BE SHOWN ON THE FINAL PLANS AND RECORDS. THESE AND RECORDS SHALL BE THE PROPERTY OF MW DESIGN, LLC. ALL RIGHTS RESERVED. NO PART OF THIS DRAWING SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE EXPRESS WRITTEN PERMISSION OF MW DESIGN, LLC.

MW DESIGN
P.L.L.C.
EVS 101

2668 GOLDBUG AVENUE
PROPOSED
HOUSE LOCATION
PER PLANS
DATED 3-18-2016

SEALED
DATE: 5/11/2016
BY: [Signature]

HOUSE LOCATION

POOL

DRIVEWAY

POOL LOCATED
SEPARATE
SITE PLANS

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:

THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVAN ISLAND, SOUTH CAROLINA



**PORTER
RESIDENCE**

DATE: 5/11/2016
DRAWN BY: HGP

DATE: 5/11/2016
JOB NO.: S-2001

S2

GENERAL NOTES:

- 1) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS AS APPLICABLE.
- 2) OWNER AND/OR BUILDER SHALL BE RESPONSIBLE FOR ANY SOIL TESTING REQUIRED TO DETECT ANY UNSUITABLE CONDITIONS WHICH MAY AFFECT THE PERFORMANCE OF THE FOOTINGS AND PIERS. A MINIMUM 2000 PSF SOIL BEARING CAPACITY IS ASSUMED UNLESS OTHERWISE SPECIFIED.
- 3) THE INTERNATIONAL RESIDENTIAL CODE (IRC) CURRENT EDITION WITH SOUTH CAROLINA AMENDMENTS SHALL GOVERN WHEREVER THESE DRAWINGS ARE SILENT, OR ARE IN CONFLICT.
- 4) ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER, OR ENGINEER FOR JUSTIFICATION AND/OR CORRECTION PRIOR TO THE START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- 5) DIMENSIONS SHALL BE READ, OR CALCULATED AND NEVER SCALED.
- 6) FOLLOW TRUSS MANUFACTURER'S INSTALLATION GUIDE & INSTRUCTIONS.
- 7) PREFABRICATED FIREPLACES & FLUES SHALL BE U.L. APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.
- 8) ALL LUMBER IN CONTACT WITH MASONRY, OR CONCRETE SHALL BE PRESSURE TREATED.
- 9) BUILDER SHALL FIELD APPROVED LAYOUT OF ELECTRICAL, HVAC, REGISTER LOCATIONS AND CABLE/PHONE JACKS.
- 10) BUILDER SHALL FIELD APPROVE SHOP DRAWINGS OF ALL CABINETS AND BUILTINS PRIOR TO INSTALLATION.
- 11) LOCATE THE IGNITION SOURCE FOUND ON ANY APPLIANCE LOCATED IN THE GARAGE AT 18" ABOVE FINISHED FLOOR (MINIMUM).
- 12) CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- 13) CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO BEGINNING CONSTRUCTION.
- 14) ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND SHALL REST ON UNDISTURBED SOIL CAPABLE OF SUPPORTING THE BUILDING.
- 15) ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.
- 16) WINDOW SUPPLIER SHALL VERIFY TYPE OF GLASS REQUIRED AT ALL LOCATIONS FOR CODE COMPLIANCE. PROVIDE TEMPERED GLASS AS REQUIRED BY 2012 IRC, SECTION 308 AND EGRESS WINDOWS AS REQUIRED BY 2012 IRC, SECTION 310.
- 17) SPECIFIED WINDOW DIMENSIONS ARE GENERIC AND MAY VARY ACCORDING TO THE MANUFACTURER SELECTED. CONTRACTOR SHALL COORDINATE ACTUAL WINDOW ROUGH OPENINGS IN THE FIELD.
- 18) KITCHEN LAYOUT SHOWN IN APPROXIMATE MANNER ONLY. FINAL CABINET DESIGN SHALL BE BY CABINET SUPPLIER. COORDINATE EXACT LAYOUT AND FINISH WITH OWNER/BUILDER PRIOR TO FABRICATION.

- INTERNATIONAL CONSERVATION CODE (IECC) REQUIREMENTS (2009)**
1. WINDOWS AND SKYLIGHTS SHALL HAVE A U-Factor LESS THAN OR EQUAL TO 0.50
 2. WINDOWS AND SKYLIGHTS SHALL BE LOW-E WITH A SOLAR HEAT GAIN COEFFICIENT (SHGC) LESS THAN OR EQUAL TO 0.30
 3. CEILING INSULATION SHALL BE R-30 OR GREATER
 4. WALL INSULATION SHALL BE R13 OR GREATER
 5. FLOOR INSULATION SHALL BE R15 OR GREATER
 6. HVAC UNITS AND DUCT SYSTEMS SHALL BE SIZED AND SPECIFIED BY A QUALIFIED MECHANICAL CONTRACTOR. HEAT PUMPS SHALL HAVE ADAPTIVE RECOVERY THERMOSTATS.
 7. THE MANUAL J LOAD SIZING REPORT MAY BE REQUIRED AT TIME OF PERMITTING. COORDINATE WITH LOCAL BUILDING OFFICIAL.
 8. DUCTS OUTSIDE CONDITION SPACES SHALL BE INSULATED TO R6 OR GREATER AND SHALL BE SEALED AND TESTED TO SUBSTANTIALLY AIRTIGHT
 9. ALL HOLES AND PENETRATION AT THE BUILDING ENVELOPE SHALL BE SEALED.
 10. ALL RECESSED CANS AT INSULATED ATTIC SPACES SHALL BE IC AIRTIGHT (ICAT)
 11. ALL PIPES CARRYING FLUIDS ABOVE 105 DEGREES (F) SHALL BE INSULATE TO R-3 OR GREATER
 12. 50% OF LAMPS MUST BE HIGH-EFFICIENT

THE PORTER RESIDENCE

2668 GOLDBUG AVENUE
 LOT 114 MOULTRIEVILLE EAST
 TOWN OF SULLIVANS ISLAND
 SOUTH CAROLINA
 TMS 529-07-00-008



ILLUSTRATIVE RENDERING (NTS)

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY. SEE ELEVATIONS FOR DETAILING. COLORS SHOWN ARE NOT REPRESENTATIVE OF FINAL COLORS. COORDINATE WITH OWNER.

PLAN HISTORY

- 04-24-2015 REVIEW SET #1
- 06-24-2015 REVIEW SET #2
- 07-10-2015 REVIEW SET #3
- 07-23-2015 REVIEW SET #4
- 09-21-2015 REVIEW SET #5
- 10-09-2015 REVIEW SET #6
- 11-02-2015 REVIEW SET #7
- 11-19-2015 REVIEW SET #8
- 11-25-2015 REVIEW SET #9
- 12-03-2015 REVIEW SET #10
- 03-06-2015 REVIEW SET #11

DRAWING INDEX

- A1 TITLE PAGE & PLAN HISTORY
- A2 SITE PLAN
- A3 GROUND FLOOR PLAN
- A4 FIRST FLOOR PLAN
- A5 SECOND FLOOR PLAN & SECTIONS
- A6 PERSPECTIVE VIEWS
- A5 FRONT & LEFT ELEVATIONS
- A6 REAR & RIGHT ELEVATIONS

- S1 FOUNDATION PLAN
- S2 FOUNDATION DETAILS
- S3 1ST FLOOR FRAMING PLAN
- S4 2ND FLOOR FRAMING PLAN
- S5 ROOF FRAMING PLAN
- S6 FRAMING & CONNECTION DETAILS

BUILDER:

Plans and Structural Engineering by:



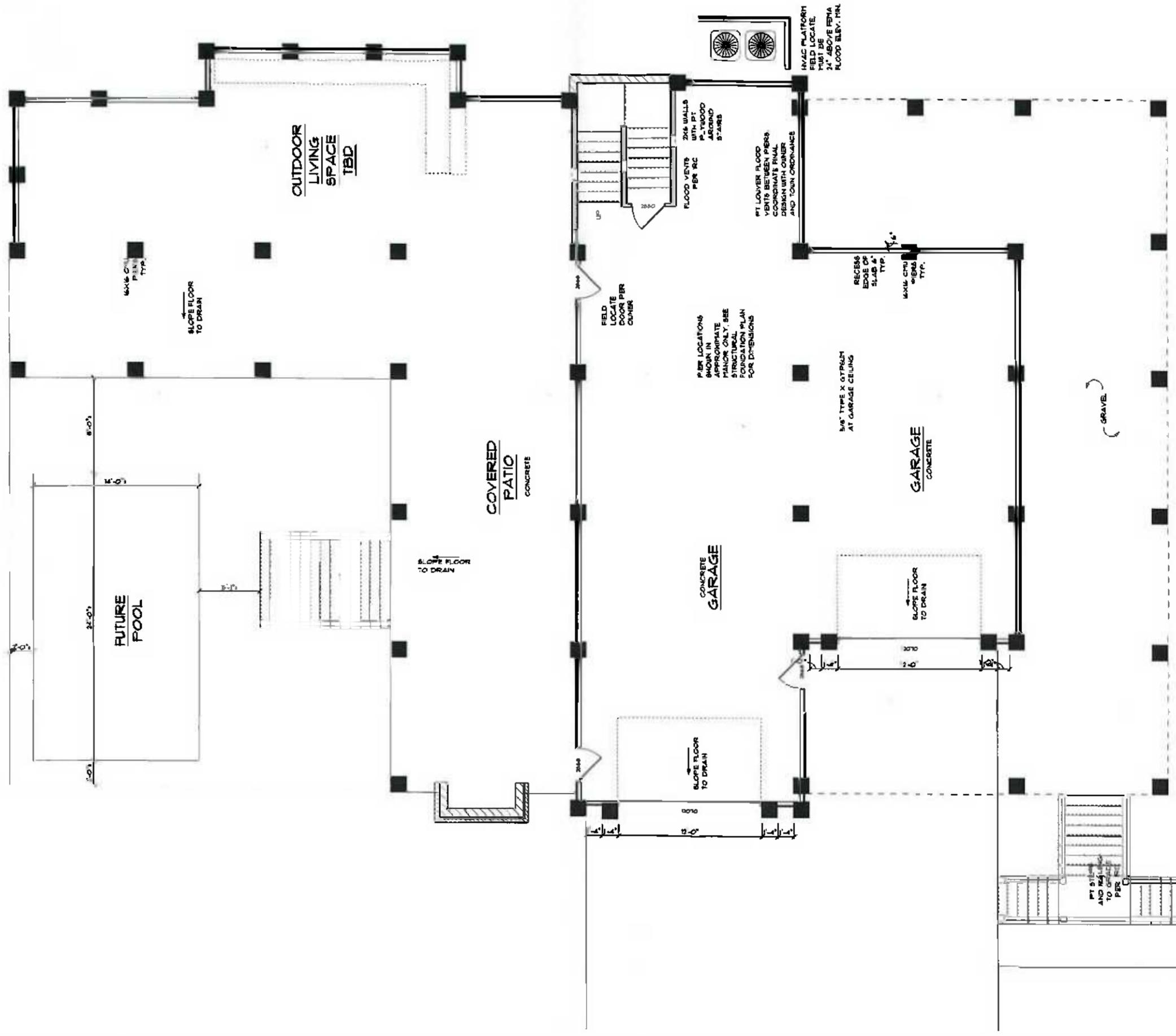
DRB CONCEPTUAL SUBMITTAL

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR
THE PORTER RESIDENCE
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



Plan Name:
PORTER RESIDENCE
 DRAWN BY: FJG
 DATE: 5/12/16
 JOB NO.: 5-1255

A1



GROUND FLOOR PLAN
SCALE: 1/8" = 1'-0"

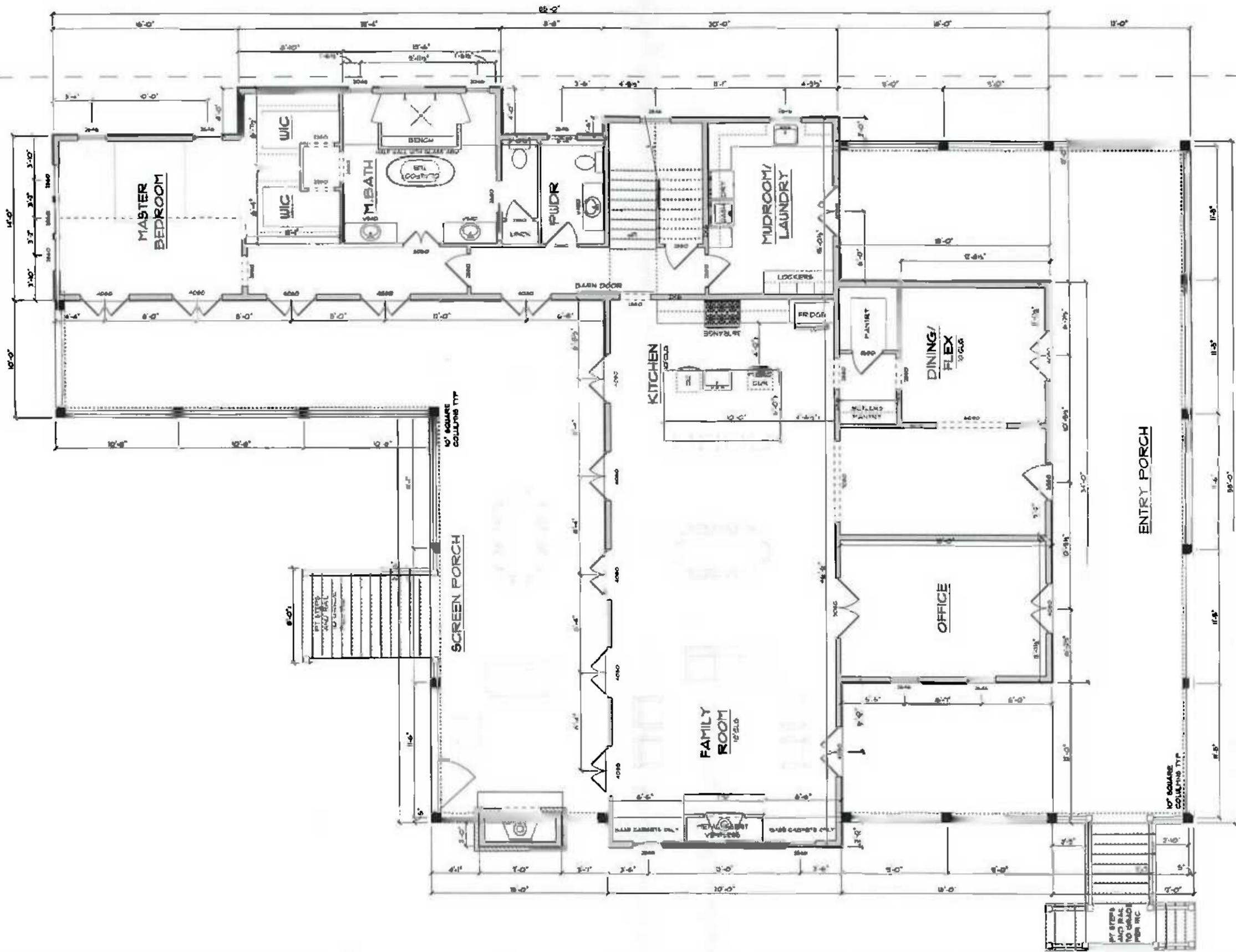
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:

THE PORTER RESIDENCE
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PORTER RESIDENCE
DRAWN BY: MGS
DATE: 3/3/2016
JOB NO: 15-2668
TITLE: GROUND FLOOR PLAN

DATE: **A3**



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

AREA SCHEDULE	NAME	HEATED	UNHEATED
FIRST FLOOR	2578 sq. ft.	111	1467
FRONT PORCH	128 sq. ft.	0	128
REAR PORCH	382 sq. ft.	0	382
TOTAL	4148 sq. ft.	111	1977

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA

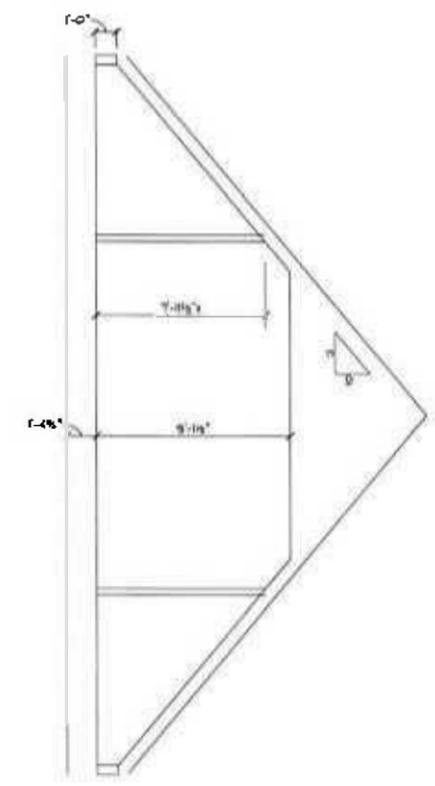
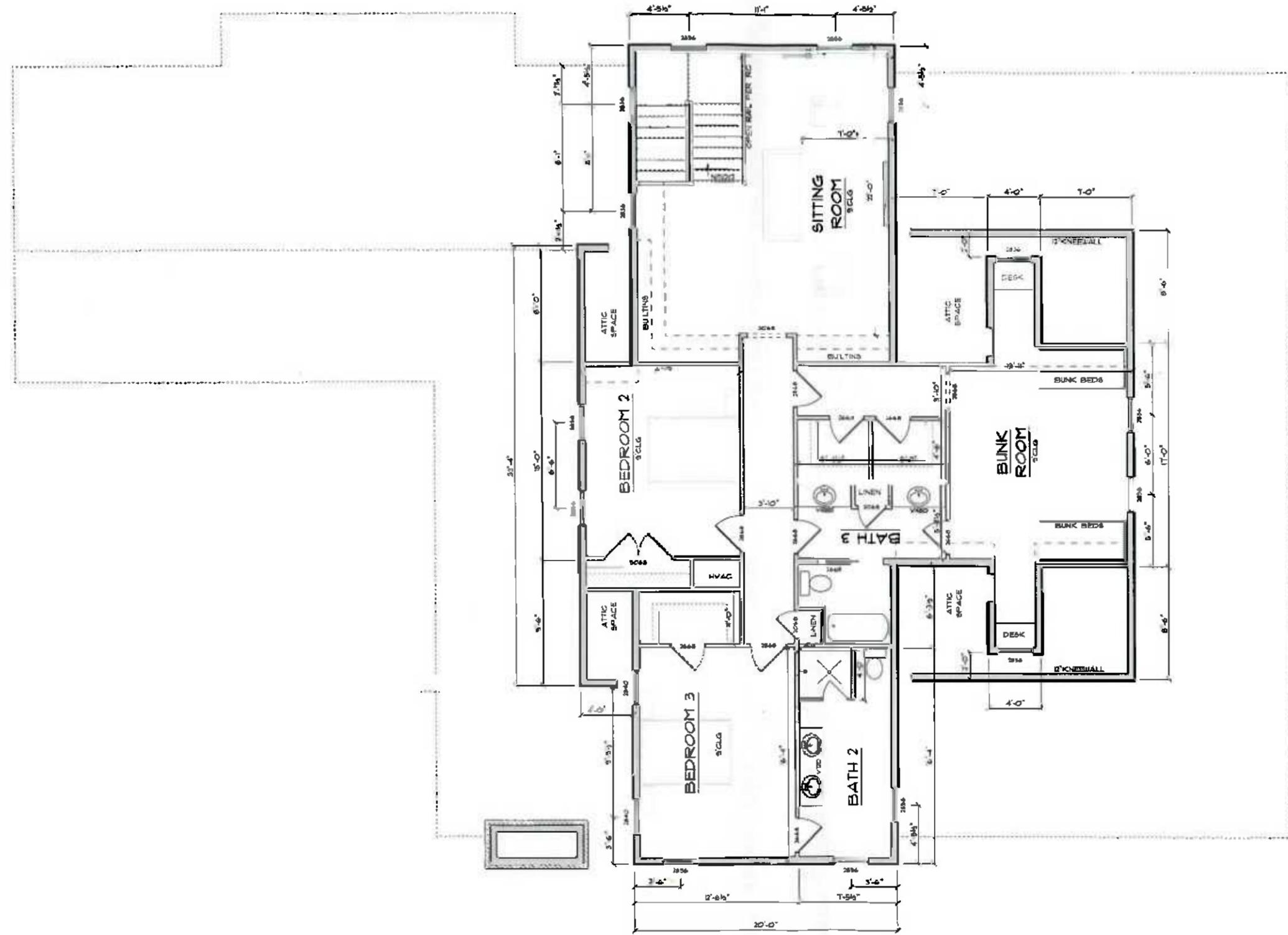


PROJECT:
PORTER RESIDENCE

DATE: 3/2024
 DRAWN BY: TFG

SCALE:
FIRST FLOOR PLAN

A4



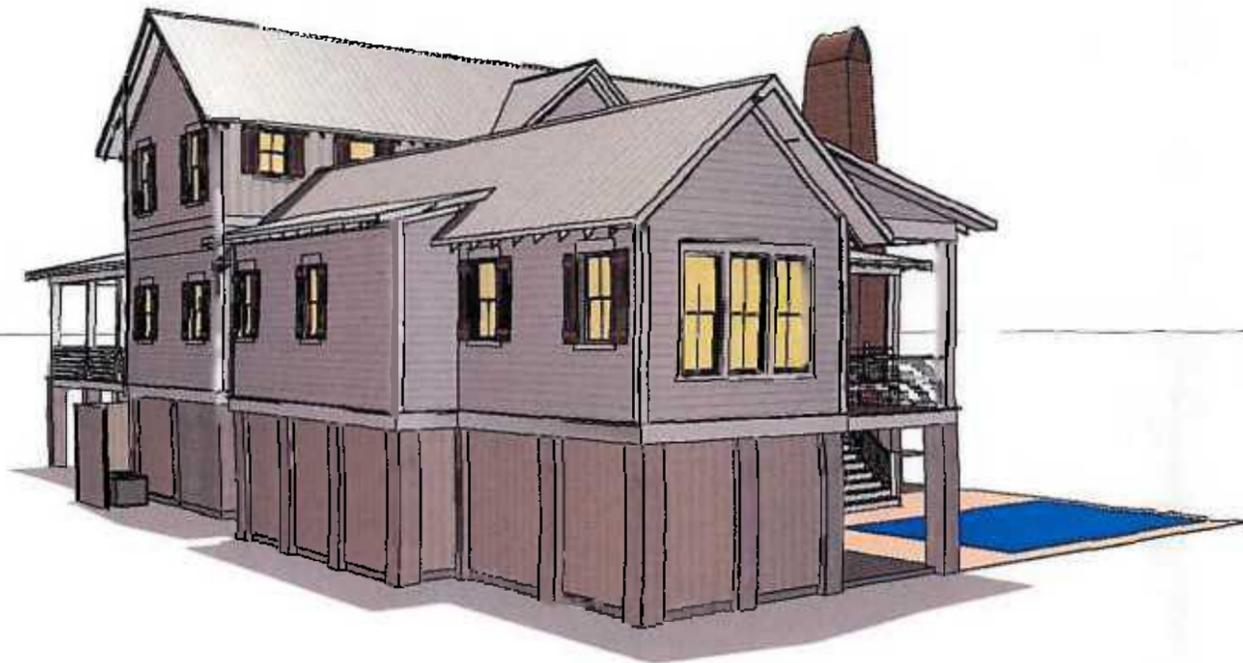
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR
THE PORTER RESIDENCE
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



PROJECT NAME
PORTER RESIDENCE

DRAWN BY: PGC
 DATE: 3/10/2016
 JOB NO.: 15-0395
 TITLE:

SCALE
A5



STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA

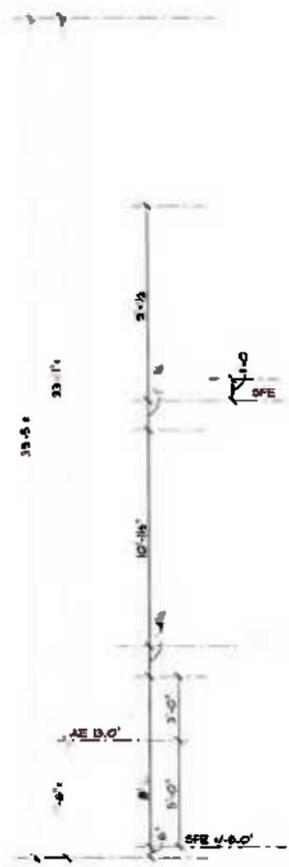


**PORTER
 RESIDENCE**

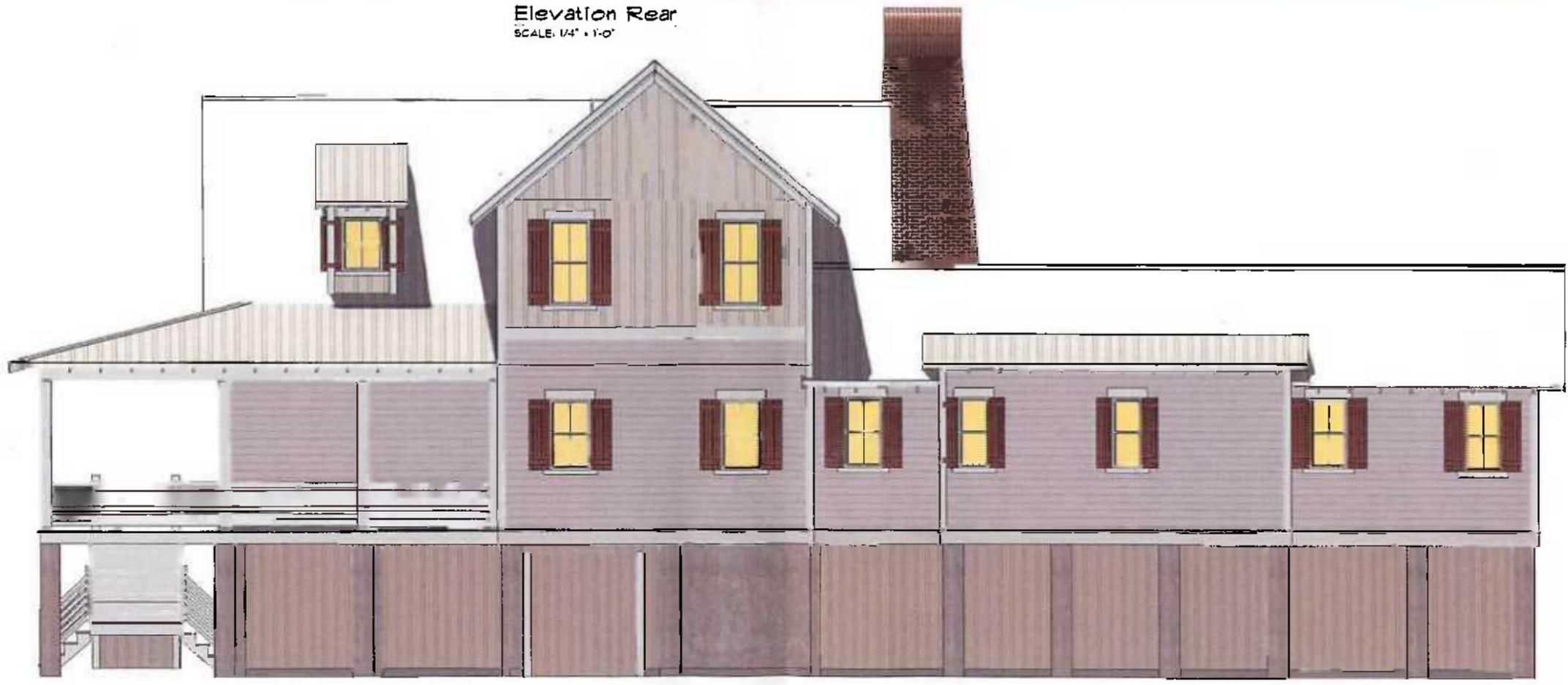
DATE: 1/1/2014
 ©-2014

**PERSPECTIVE
 SKETCHES**

A6



Elevation Rear
SCALE: 1/4" = 1'-0"



Elevation Right
SCALE: 1/4" = 1'-0"

STRUCTURAL ENGINEERING DESIGN BY MW DESIGN, LLC FOR:

THE PORTER RESIDENCE
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PROJECT:
PORTER RESIDENCE

DRAWN BY: PGM
DATE: 3/1/2016
JOB NO.: 5-289

TITLE:
ELEVATION SKETCHES

SHEET:
A8

1) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS AS APPLICABLE.

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18) KITCHEN LAYOUT SHOWN IN APPROXIMATE MANNER ONLY, FINAL CABINET DESIGN SHALL BE BY CABINET SUPPLIER. COORDINATE EXACT LAYOUT AND FINISHES WITH OWNER/BUILDER PRIOR TO FABRICATION.

INTERNATIONAL CONSERVATION CODE (IECC) REQUIREMENTS (DOCS)

1. WINDOWS AND SKYLIGHTS SHALL HAVE A U-Factor LESS THAN OR EQUAL TO 0.30
2. WINDOWS AND SKYLIGHTS SHALL BE LOW E WITH A SOLAR HEAT GAIN COEFFICIENT (SHGC) LESS THAN OR EQUAL TO 0.30
3. CEILING INSULATION SHALL BE R-30 OR GREATER
WALL INSULATION SHALL BE R13 OR GREATER
FLOOR INSULATION SHALL BE R19 OR GREATER
4. HVAC UNITS AND DUCT SYSTEMS SHALL BE SIZED AND SPECIFIED BY A QUALIFIED MECHANICAL CONTRACTOR. HEAT PUMPS SHALL HAVE ADAPTIVE RECOVERY THERMOSTATS.
5. THE MANUAL J LOAD SIZING REPORT MAY BE REQUIRED AT TIME OF PERMITTING. COORDINATE WITH LOCAL BUILDING OFFICIAL.
6. DUCTS OUTSIDE CONDITION SPACED SHALL BE INSULATED TO R6 OR GREATER AND SHALL BE SEALED AND TESTED TO SUBSTANTIALLY AIRTIGHT
7. ALL HOLES AND PENETRATION AT THE BUILDING ENVELOPE SHALL BE SEALED.
8. ALL RECESSED CANS AT INSULATED ATTIC SPACES SHALL BE IC AIRTIGHT (ICAT)
9. ALL PIPES CARRYING FLUIDS ABOVE 105 DEGREES (F) SHALL BE INSULATE TO R-3 OR GREATER
10. 50% OF LAMPS MUST BE HIGH-EFFICIENT

THE PORTER RESIDENCE #2

2668 GOLDBUG AVENUE
LOT 114 MOULTRIEVILLE EAST
TOWN OF SULLIVANS ISLAND
SOUTH CAROLINA
TMS 529-07-00-008



ILLUSTRATIVE RENDERING (NTS)

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY. SEE ELEVATIONS FOR DETAILING. COLORS SHOWN ARE NOT REPRESENTATIVE OF FINAL COLORS. COORDINATE WITH OWNER.

PLAN HISTORY

04-24-2015 REVIEW SET #1	05-19-2016 REVIEW SET #13
06-24-2015 REVIEW SET #2	
07-10-2015 REVIEW SET #3	
07-23-2015 REVIEW SET #4	
09-21-2015 REVIEW SET #5	
10-09-2015 REVIEW SET #6	
11-02-2015 REVIEW SET #7	
11-19-2015 REVIEW SET #8	
11-25-2015 REVIEW SET #9	
12-03-2015 REVIEW SET #10	
03-06-2016 REVIEW SET #11	
04-29-2016 NEW PLAN	

DRAWING INDEX

- A1 TITLE PAGE & PLAN HISTORY
- A2 SITE PLAN
- A3 GROUND FLOOR PLAN
- A4 FIRST FLOOR PLAN
- A5 SECOND FLOOR PLAN & SECTIONS
- A6 PERSPECTIVE VIEWS
- A5 FRONT & LEFT ELEVATIONS
- A6 REAR & RIGHT ELEVATIONS

- S1 FOUNDATION PLAN
- S2 FOUNDATION DETAILS
- S3 1ST FLOOR FRAMING PLAN
- S4 2ND FLOOR FRAMING PLAN
- S5 ROOF FRAMING PLAN
- S6 FRAMING & CONNECTION DETAILS

BUILDER:

Plans and Structural Engineering by:



DRB CONCEPTUAL SUBMITTAL

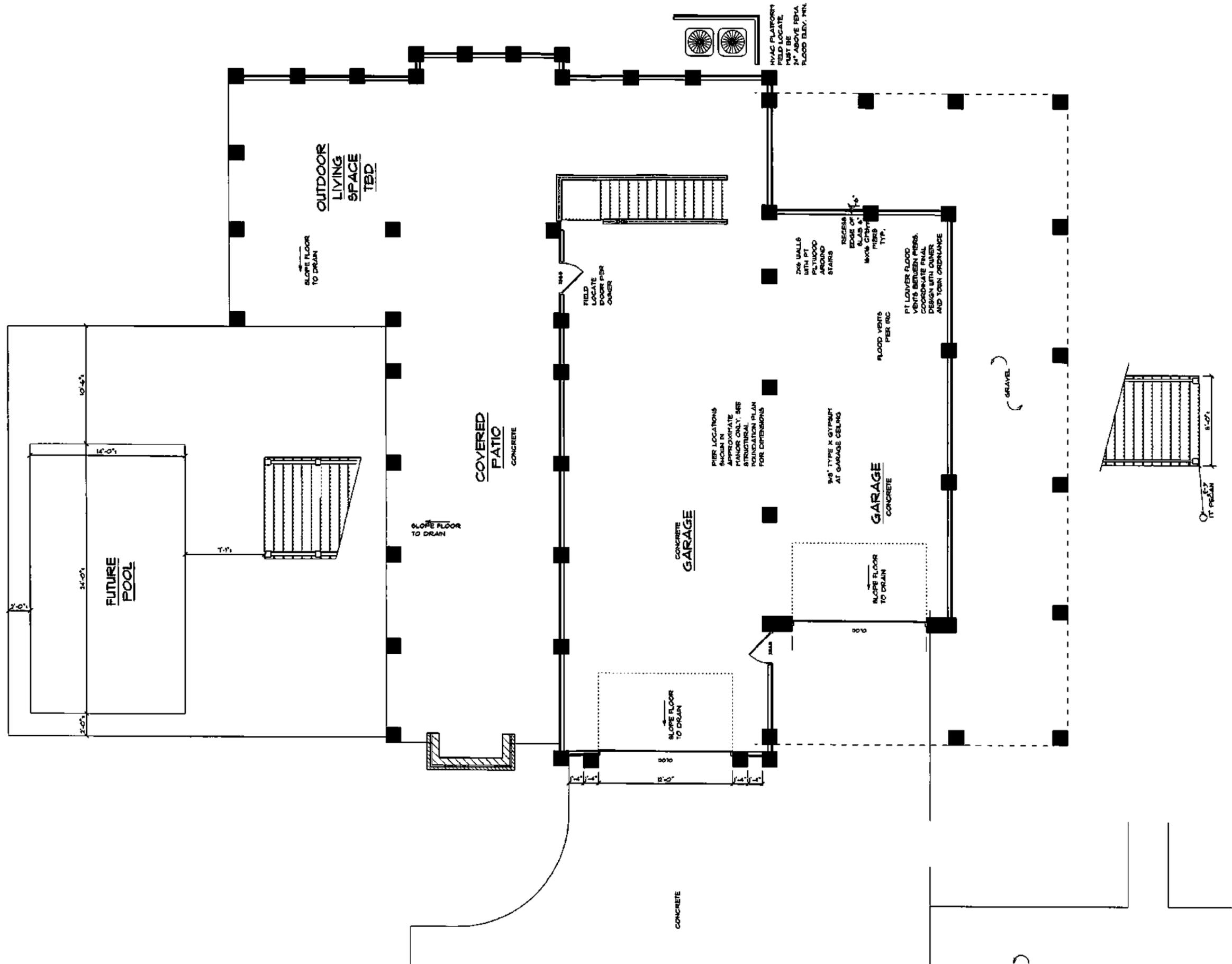
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR
THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PORTER
RESIDENCE

H&P
5/30/2016
5-2895

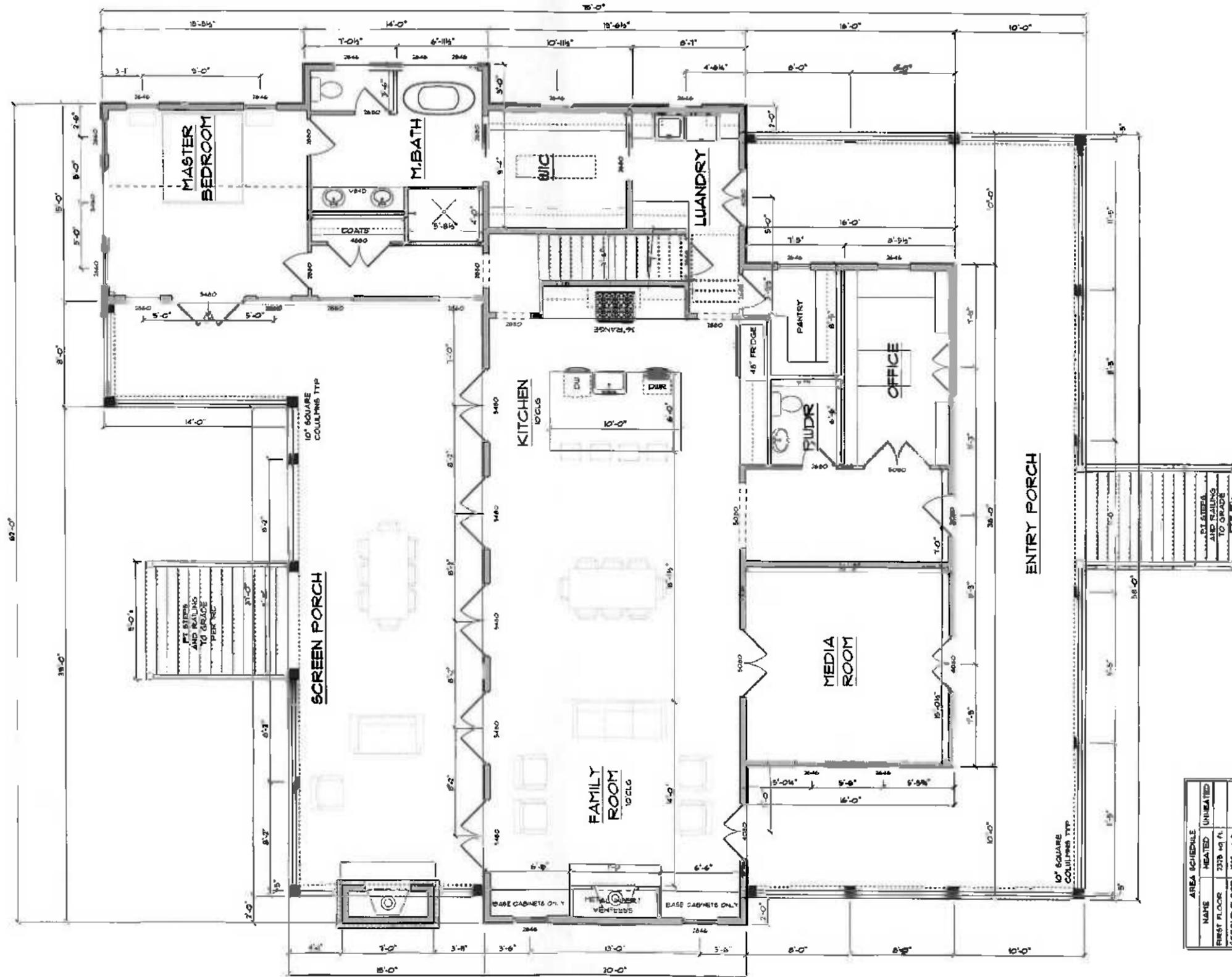
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STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE #2
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA

MW DESIGN
 1734 1/2 10th St
 Charleston, SC 29407
 www.mwdesignsc.com

PROJECT	PORTER RESIDENCE
DRAWN BY	TRG
DATE	5/20/2016
JOB NO.	5-2016
TITLE	GROUND FLOOR PLAN
NO.	A3



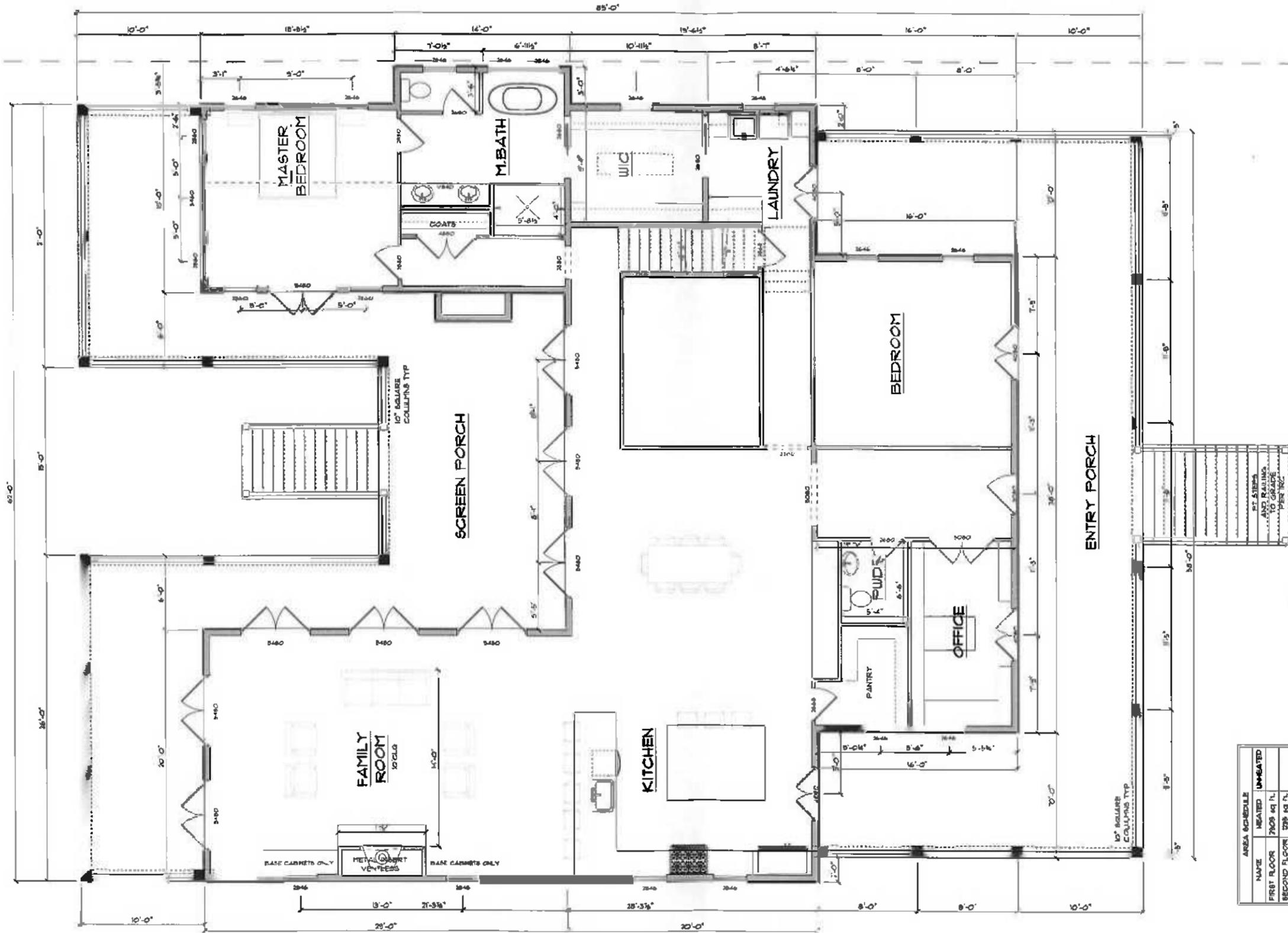
AREA SCHEDULE		UNHEATED
NAME	HEATED	
FIRST FLOOR	2728 sq ft.	
SECOND FLOOR	1038 sq ft.	
FRONT PORCH		500 sq ft.
REAR PORCH		136 sq ft.
TOTAL	3840 sq ft.	

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE #2
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



PROJECT:
PORTER RESIDENCE
 DRAWN BY: PDS
 DATE: 5/20/2016
 JOB NO.: 5-2016
 TITLE:
FIRST FLOOR PLAN

SCALE:
A4



AREA SCHEDULE	
NAME	UNHEATED
FIRST FLOOR	7908 sq ft
SECOND FLOOR	1228 sq ft
FRONT PORCH	300 sq ft
REAR PORCH	1032 sq ft
TOTAL	8470 sq ft

First Floor 2WING
SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

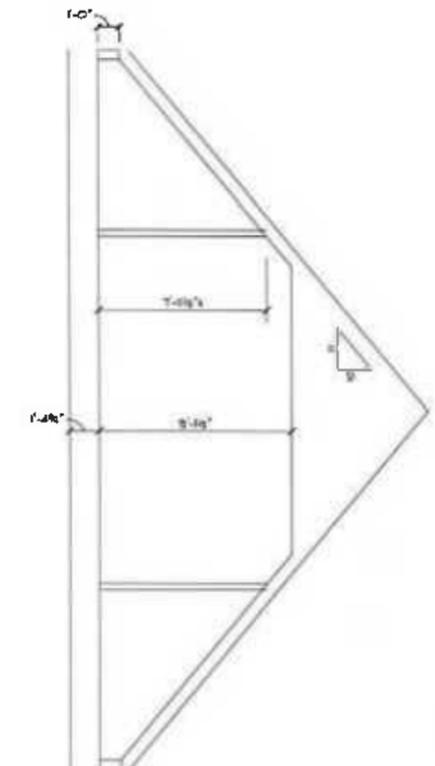
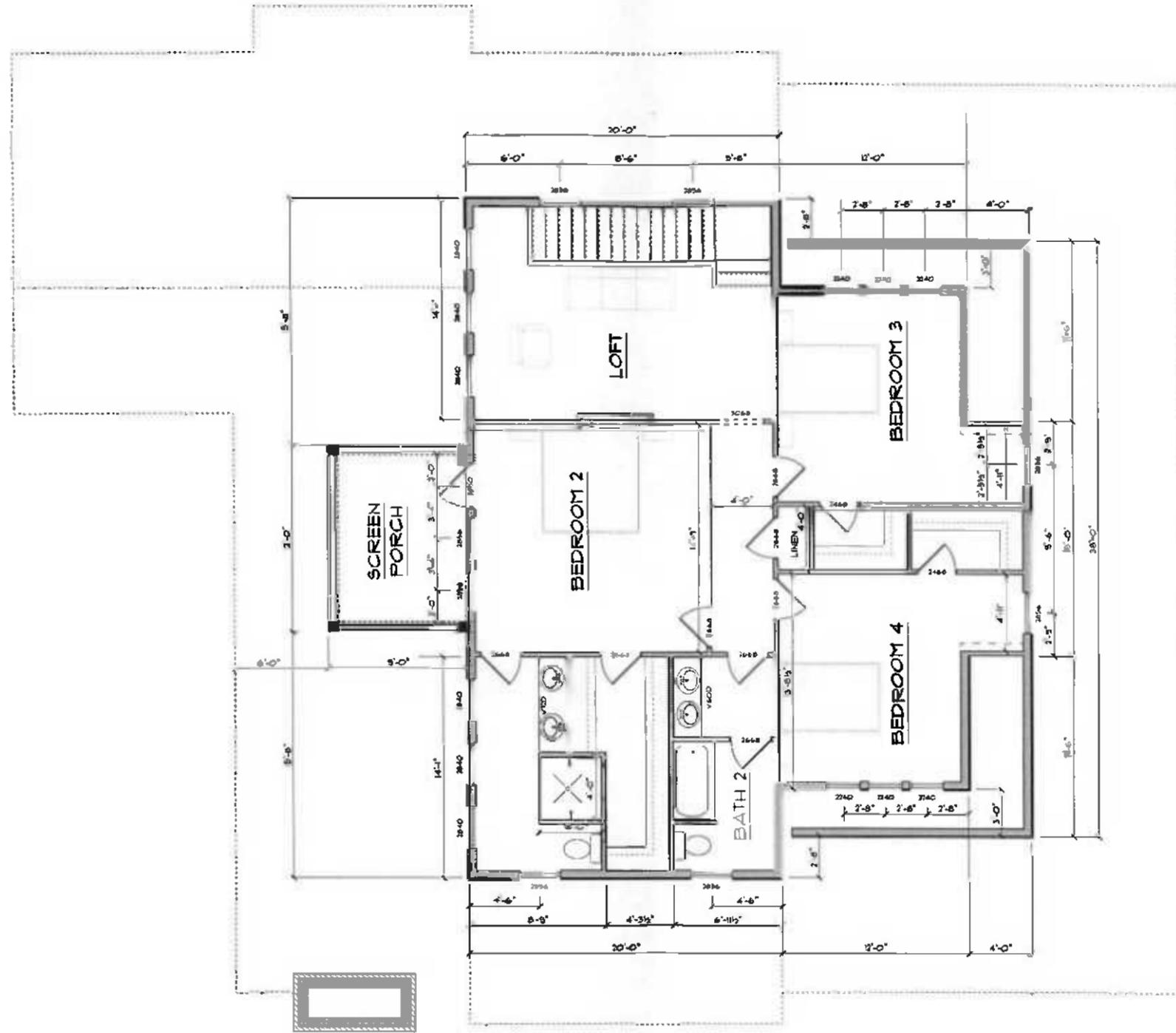
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR
THE PORTER RESIDENCE #2
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



PROJECT NAME
PORTER RESIDENCE

DRAWN BY: TSC
DATE: 5/22/2016
JOB NO: 15-2025

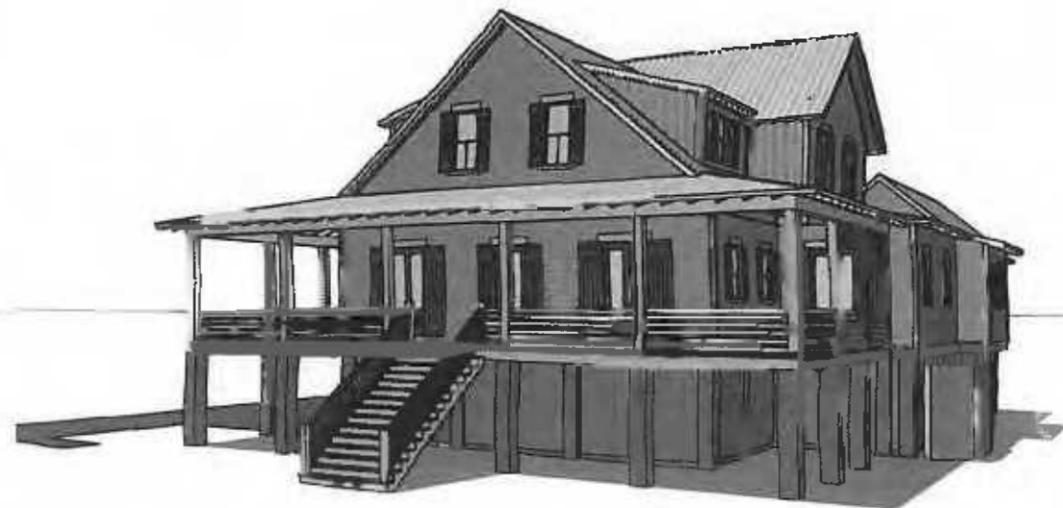
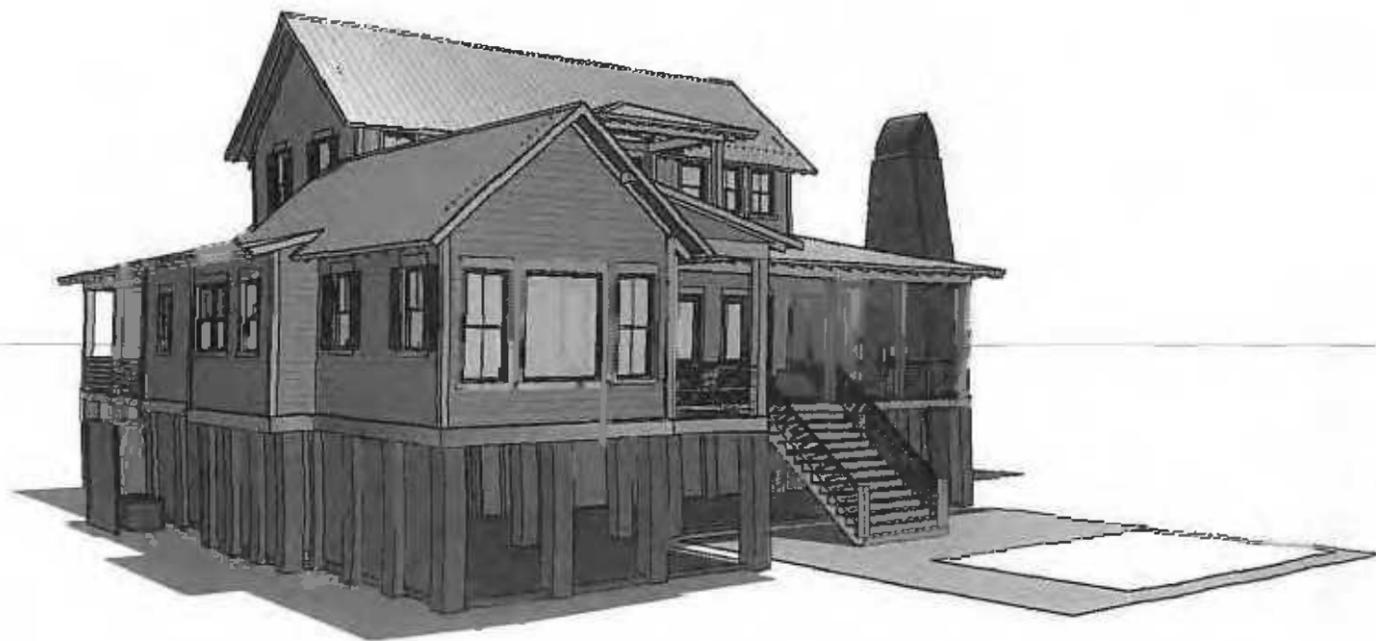
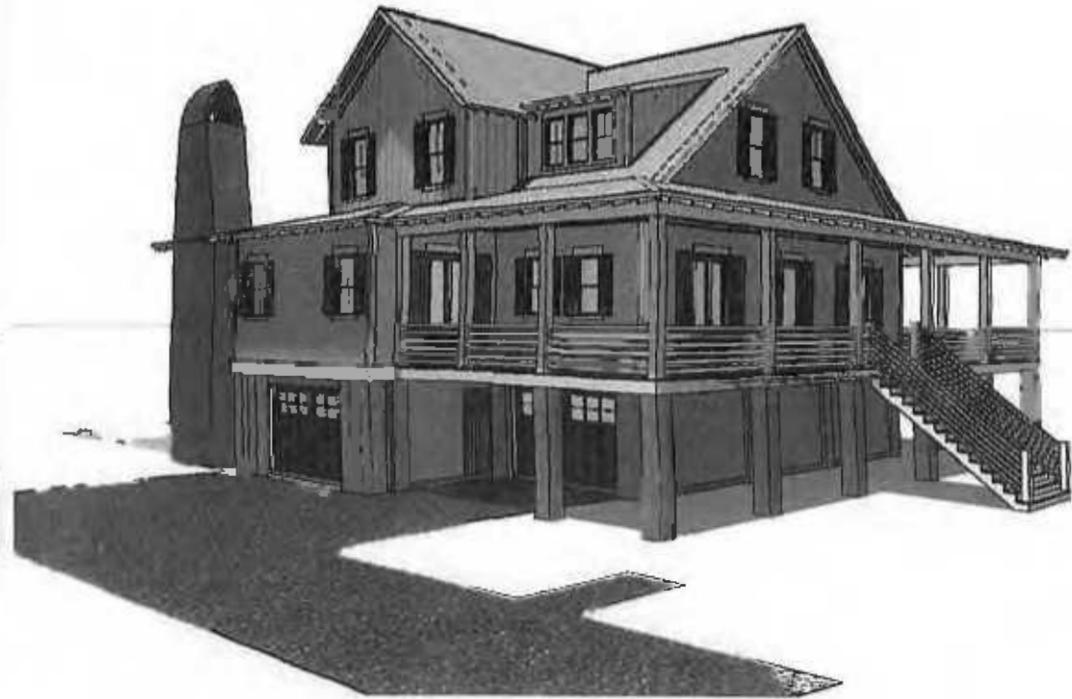
FILE
A9



STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER RESIDENCE #2
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



PROJECT	PORTER RESIDENCE
DRAWN BY	FIGG
DATE	5/20/2016
JOB NO.	15-2015
TITLE	
SCALE	A5



STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:

THE RTE RES E CE #2
 OL BUG NUB
 IV S ISLAND, SC CAROLINA



(704) 410-8770
 (919) 410-8770

2547
 WWW.MWDESIGN.COM

Plan Title

Drawn By:

Date: 6/20/2016

Job No: E-2012

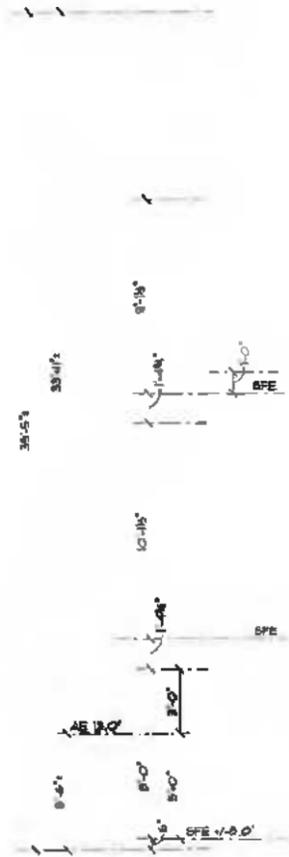
Title:

SKETCHES

Sheet:

A6





Elevation
SCALE: 1/4" = 1'-0"



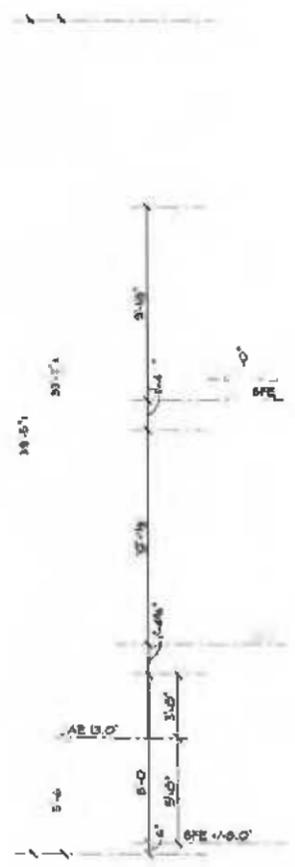
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:

SULLIVANS ISLAND, SOUTH CAROLINA



PORTER
SIDENCE
DRAWN BY: HGU
DATE: 3/27/16
JOB NO.: S-2015
TITLE:
ELEVATION
SKETCHES

A7



SCALE: 1/4" = 1'-0"



STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE OTE RESIDENCE #2
 G L BUG AVENUE
 ANS SLAND, SOUTH CAROLINA



(7) 843-418-8778
 (843) 943-7918 ext 11
 CHARLESTON, SC
 29407
 WWW.MWDESIGN.COM

DATE: 5/20/2016
 DRAWN BY: PGM
 CHECKED BY: PGM

DATE: 5/20/2016
 JOB NO.: 15-2855

ELEVATION SKETCHES

A8

The following are Google Earth Renderings of the house as proposed to the DRB on 4/20/2016. These renderings were prepared by Engineer, Matthew Wilks, to show the site lines WITHOUT modification of the proposed house/site plans as originally submitted to the BZA and DRB. This shows that prior to the modifications that the applicant has agreed to make, including moving the building footprint back from the marsh towards the road twenty (20) feet, that as is, the proposed plans do not have an adverse effect on the neighboring property.

That being said, the following has been submitted to the BZA for the 6/09/2016 meeting which will take place before the 6/15/2016 meeting of the DRB:

There was no decision made to approve or deny the application at the 4/20/2016 meeting of the DRB; however, based on the discussion, as well as the discussion at the 3/10/2016 BZA meeting, the applicant presents the following and requests approval of the special exception, including an approximate sixty two (62') foot encroachment from the build to line. This is an approximate (20') reduction from the encroachment of the same as shown on the site plan previously submitted to the BZA [and DRB]. This request is in line with the discussions and comments of the Board members at the BZA and DRB meetings, as well as in consideration of the concerns of the neighbors and the conditions created by the variances granted on the two adjacent properties. See attached submittals including: (1) diagonal view lines as would exist WITHOUT modification of the proposed plans as originally submitted to the BZA; (2) Site plan with original house plan/location and diagonal line as proposed by a Board member of the DRB - which is part of the basis for the new build-to line at the mid-point of the diagonal as drawn between the two adjacent properties to the applicant - at nineteen feet, three inches (19'3"), behind the original proposed construction; (3) new site plan showing a new build to-line; (4) site plan with an approximate building footprint. More detailed house plans are forthcoming; however, due to time constraints, the same is not yet finalized.

Since the time of the BZA submittal, two versions of a modified house plan have been prepared, which is included in the DRB submittal for your consideration. Also included for reference are the proposed historic cottage modification plan options, which the DRB approved at the 4/20/2016 meeting, although because the application was deferred, there was not a formal vote on that issue.





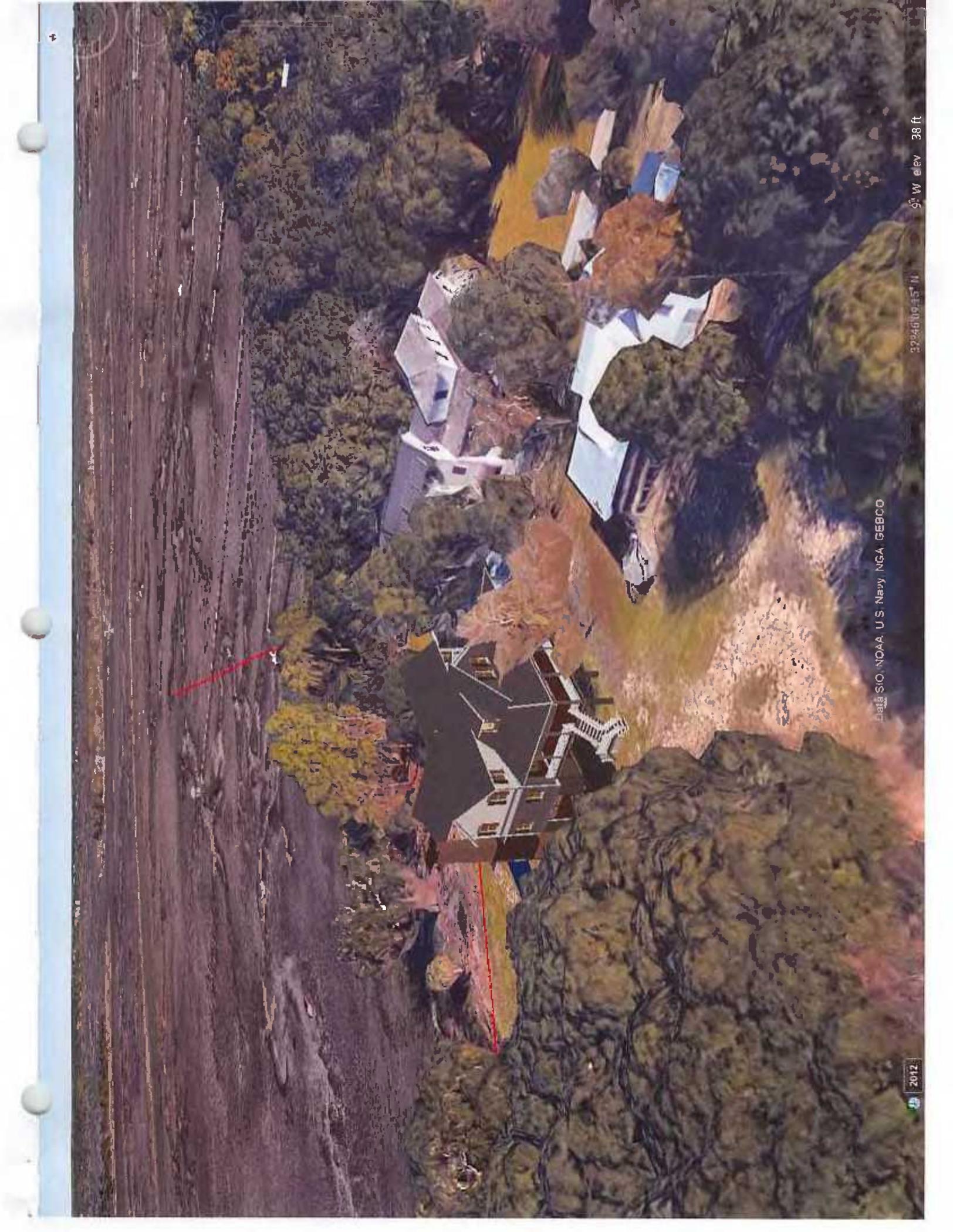
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© 2016 TerraMetrics

Google a h

201

Imagery Date: 12/13 05:32:09 79°49' 5" W elev: 20 ft eea 80 ft

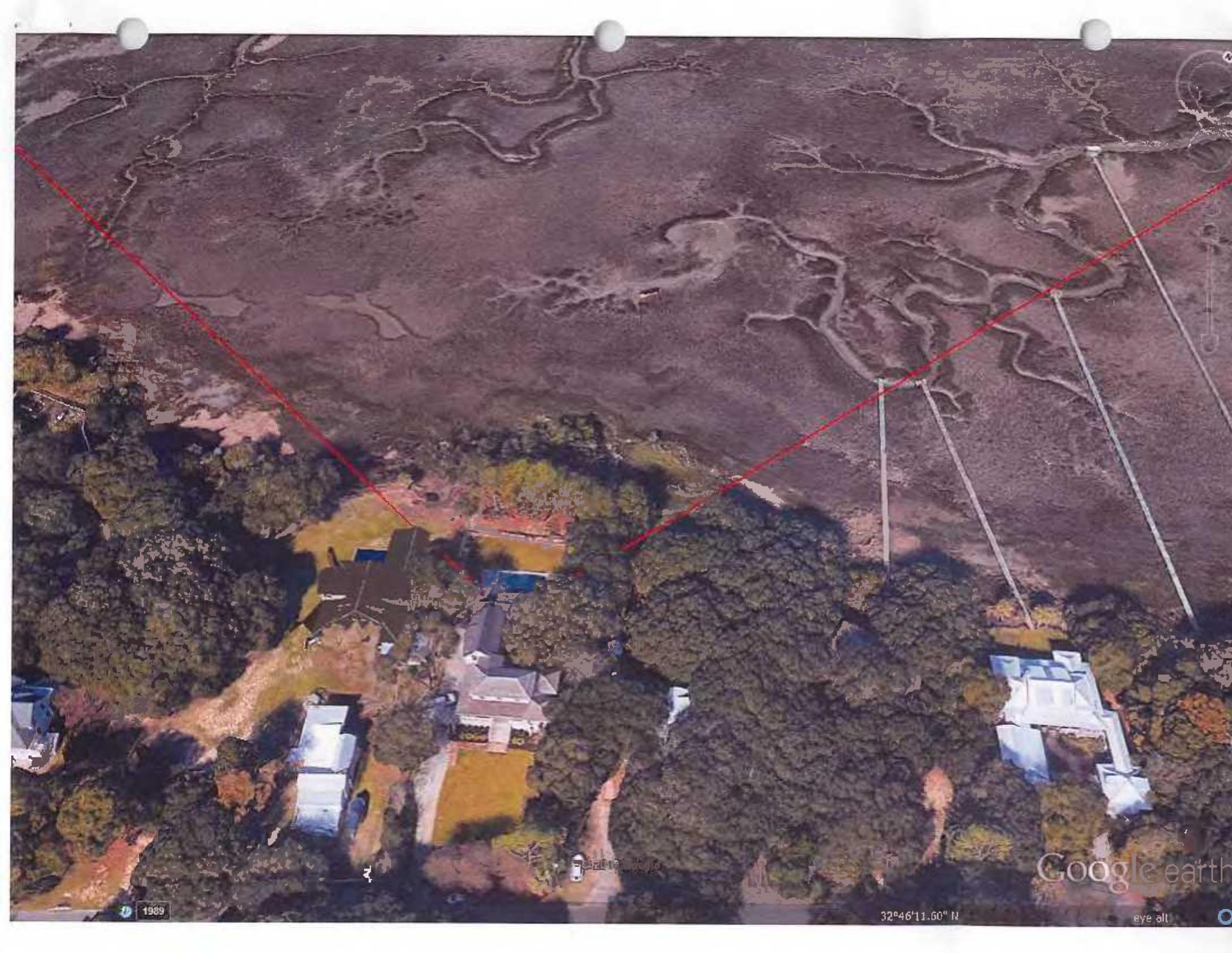


Leaflet | SIO, NOAA, U.S. Navy, NGA, GEBCO

© 2012

3294509.45" N

91° W elev 38 ft



Google earth

32°46'11.60" N

eye alt

1989

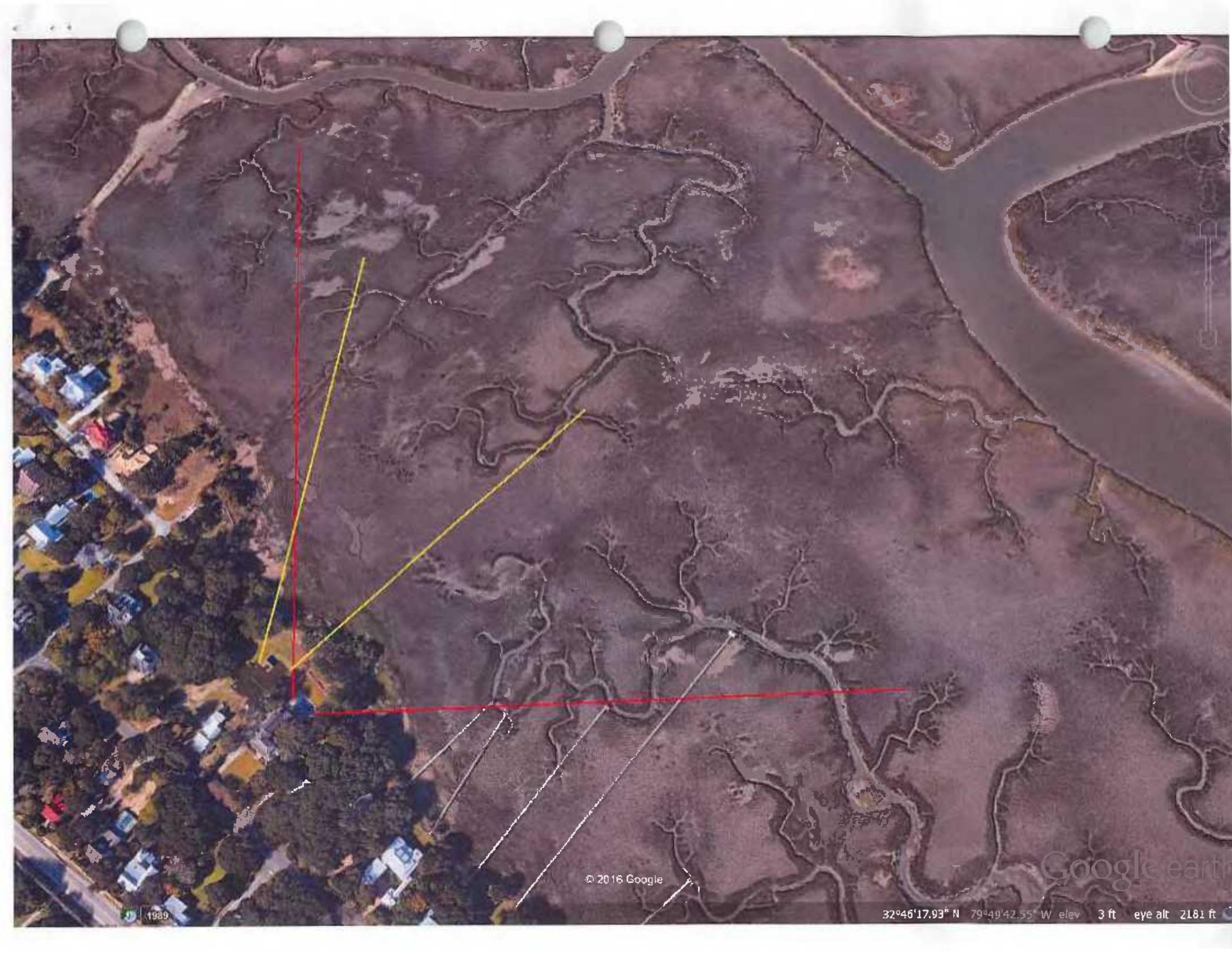
32°46'10.88" N 79°49'41.09" W elev 39 ft 256 ft

1989

Google earth

© 2016 Google





1989

© 2016 Google

Google earth

32°46'17.93" N 79°49'42.55" W elev 3 ft eye alt 2181 ft

GENERAL NOTES:

1) ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND MANUFACTURER'S INSTALLATION INSTRUCTIONS AS APPLICABLE.

2) OWNER AND/OR BUILDER SHALL BE RESPONSIBLE FOR ANY SOIL TESTING REQUIRED TO DETECT ANY UNSUITABLE CONDITIONS WHICH MAY AFFECT THE PERFORMANCE OF THE FOOTINGS AND PIERS. A MINIMUM 2000 P.S.F. SOIL BEARING CAPACITY IS ASSUMED UNLESS OTHERWISE SPECIFIED.

3) THE INTERNATIONAL RESIDENTIAL CODE (IRC) CURRENT EDITION WITH SOUTH CAROLINA AMENDMENTS SHALL GOVERN WHEREVER THESE DRAWINGS ARE SILENT, OR ARE IN CONFLICT.

4) ALL DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER, OR ENGINEER FOR JUSTIFICATION AND/OR CORRECTION PRIOR TO THE START OF CONSTRUCTION AND/OR FABRICATION. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.

5) DIMENSIONS SHALL BE READ, OR CALCULATED AND NEVER SCALED.

6) FOLLOW TRUSS MANUFACTURER'S INSTALLATION GUIDE & INSTRUCTIONS.

7) PREFABRICATED FIREPLACES & FLUES SHALL BE U.L. APPROVED AND INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

8) ALL LUMBER IN CONTACT WITH MASONRY, OR CONCRETE SHALL BE PRESSURE TREATED.

9) BUILDER SHALL FIELD APPROVE LAYOUT OF ELECTRICAL, HVAC, REGISTER LOCATIONS AND CABLE/PHONE JACKS.

10) BUILDER SHALL FIELD APPROVE SHOP DRAWINGS OF ALL CABINETS AND BUILTINS PRIOR TO INSTALLATION.

11) LOCATE THE IGNITION SOURCE FOUND ON ANY APPLIANCE LOCATED IN THE GARAGE AT 18" ABOVE FINISHED FLOOR (MINIMUM).

12) CONTRACTOR SHALL INSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.

13) CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE PRIOR TO BEGINNING CONSTRUCTION.

14) ALL FOOTINGS TO BE BELOW FROST LINE (SEE LOCAL CODE) AND SHALL REST ON UNDISTURBED SOIL, CAPABLE OF SUPPORTING THE BUILDING.

15) ALL WOOD, CONCRETE AND STEEL STRUCTURAL MEMBERS SHALL BE OF A GOOD GRADE AND QUALITY AND MEET ALL NATIONAL, STATE AND LOCAL BUILDING CODES WHERE APPLICABLE.

16) WINDOW SUPPLIER SHALL VERIFY TYPE OF GLASS REQUIRED AT ALL LOCATIONS FOR CODE COMPLIANCE. PROVIDE TEMPERED GLASS AS REQUIRED BY 2012 IRC, SECTION 308 AND EGRESS WINDOWS AS REQUIRED BY 2012 IRC, SECTION 310.

SPECIFIED WINDOW DIMENSIONS ARE GENERIC AND MAY VARY ACCORDING TO THE MANUFACTURER SELECTED. CONTRACTOR SHALL COORDINATE ACTUAL WINDOW ROUGH OPENINGS IN THE FIELD.

18) KITCHEN LAYOUT SHOWN IN APPROXIMATE MANOR ONLY, FINAL CABINET DESIGN SHALL BE BY CABINET SUPPLIER. COORDINATE EXACT LAYOUT AND FINISHES WITH OWNER/BUILDER PRIOR TO FABRICATION.

INTERNATIONAL CONSERVATION CODE (IECC) REQUIREMENTS (2009)

- 1. WINDOWS AND SKYLIGHTS SHALL HAVE A U - FACTOR LESS THAN OR EQUAL TO 0.50
- 2. WINDOWS AND SKYLIGHTS SHALL BE LOW E WITH A SOLAR HEAT GAIN COEFFICIENT (SHGC) LESS THAN OR EQUAL TO 0.30
- 3. CEILING INSULATION SHALL BE R-30 OR GREATER
WALL INSULATION SHALL BE R13 OR GREATER
FLOOR INSULATION SHALL BE R19 OR GREATER
- 4. HVAC UNITS AND DUCT SYSTEMS SHALL BE SIZED AND SPECIFIED BY A QUALIFIED MECHANICAL CONTRACTOR. HEAT PUMPS SHALL HAVE ADAPTIVE RECOVERY THERMOSTATS.
- 7. THE MANUAL J LOAD SIZING REPORT MAY BE REQUIRED AT TIME OF PERMITTING, COORDINATE WITH LOCAL BUILDING OFFICIAL.
- 8. DUCTS OUTSIDE CONDITION SPACES SHALL BE INSULATED TO R8 OR GREATER AND SHALL BE SEALED AND TESTED TO SUBSTANTIALLY AIRTIGHT
- 9. ALL HOLES AND PENETRATION AT THE BUILDING ENVELOPE SHALL BE SEALED.
- 10. ALL RECESSED CANS AT INSULATED ATTIC SPACES SHALL BE IC AIRTIGHT (CATI)
- 11. ALL PIPES CARRYING FLUIDS ABOVE 105 DEGREE (F) SHALL BE INSULATE TO R-3 OR GREATER
- 12. 50% OF LAMPS MUST BE HIGH-EFFICIENT

THE PORTER COTTAGE RENOVATIONS

2668 GOLDBUG AVENUE
LOT 114 MOULTRIEVILLE EAST
TOWN OF SULLIVANS ISLAND
SOUTH CAROLINA
TMS 529-07-00-008

PLAN HISTORY

1-27-2016 REVIEW SET #11
3-09-2016 REVIEW SET #12

DRAWING INDEX

- E1 TITLE PAGE & PLAN HISTORY
- E2 SITE PLAN
- E3 FLOOR PLANS OPTION #1
- E4 ELEVATIONS OPTION #1
- E5 FLOOR PLANS OPTION #2
- E6 ELEVATIONS OPTION #2

BUILDER:

Plans and Structural Engineering by:



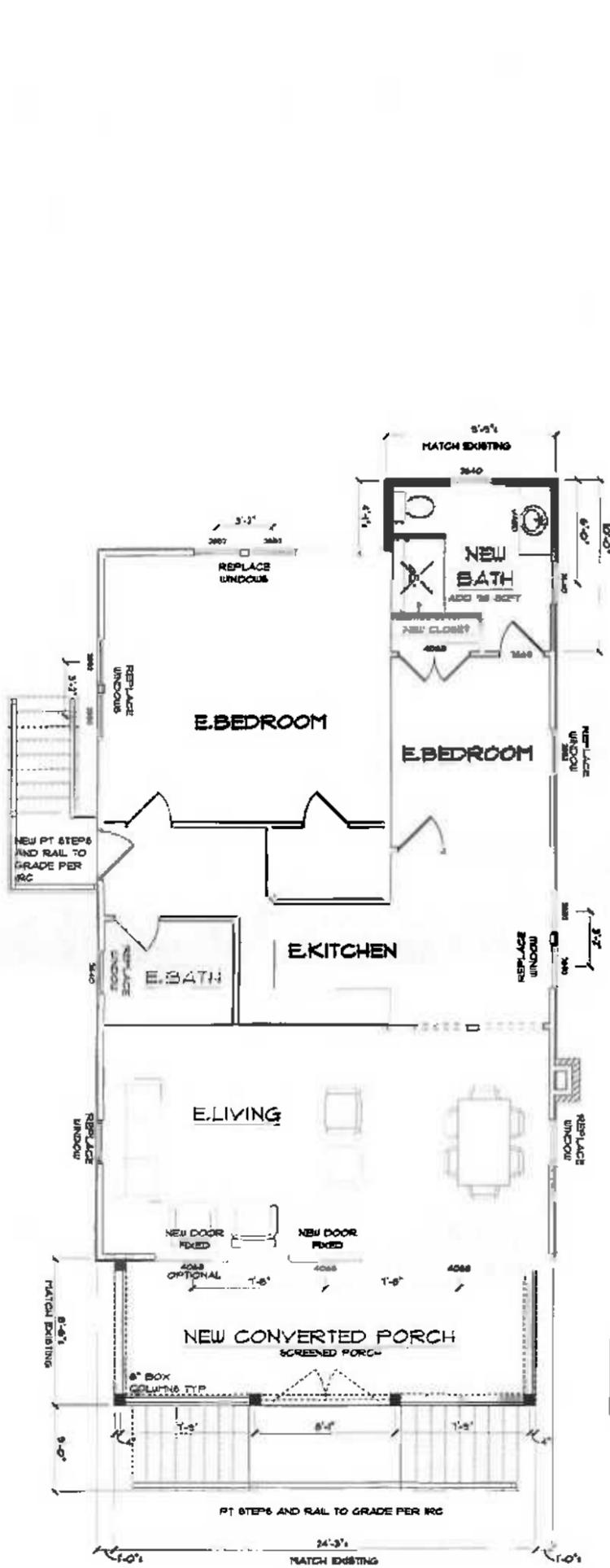
DRB PRELIMINARY SUBMITTAL

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

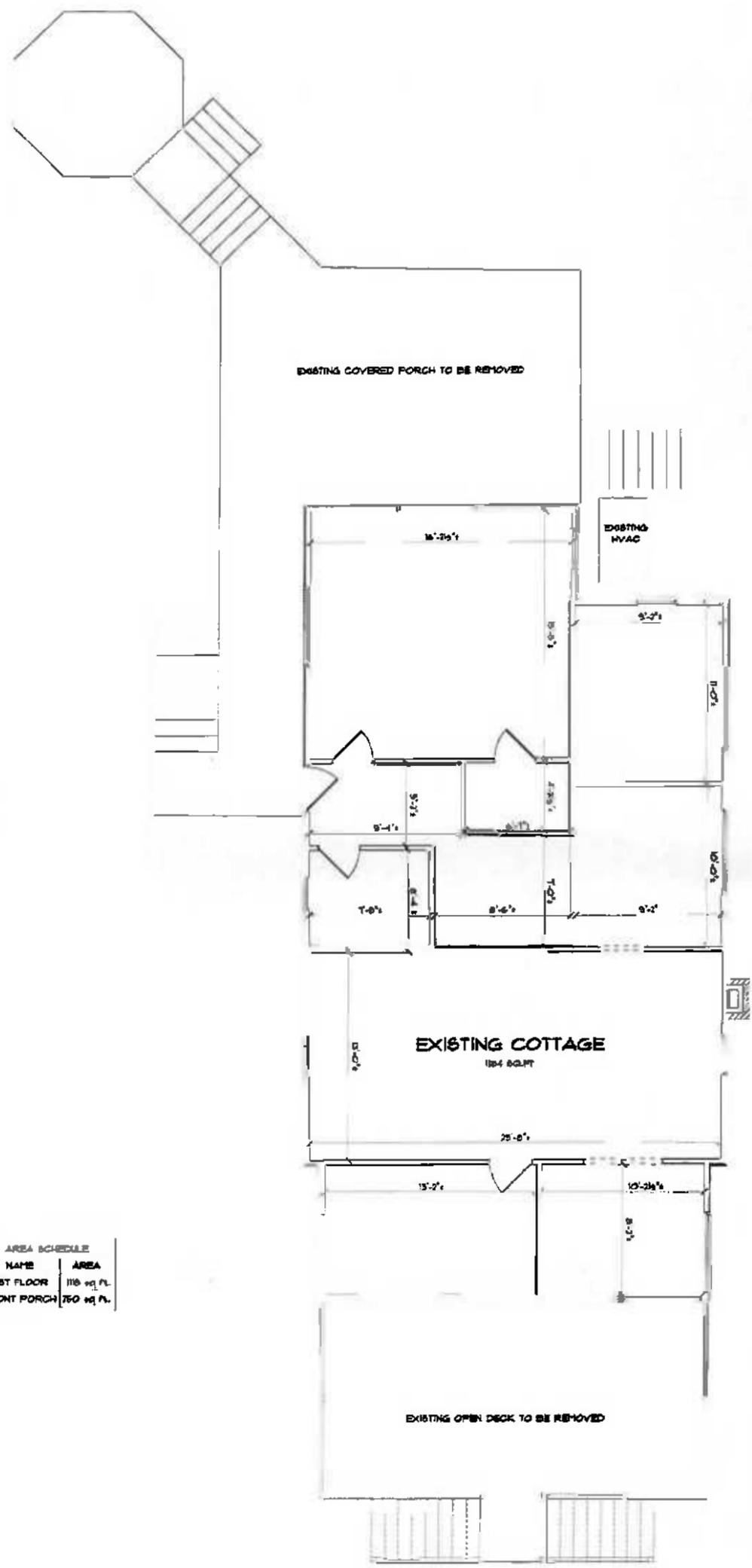


PLAN NO.
PORTER COTTAGE
REV
DATE: 3/9/2016
JOB NO.

E1



PROPOSED FLOOR PLAN OPTION #1
SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA SCHEDULE	
NAME	AREA
FIRST FLOOR	116 sq. ft.
FRONT PORCH	750 sq. ft.

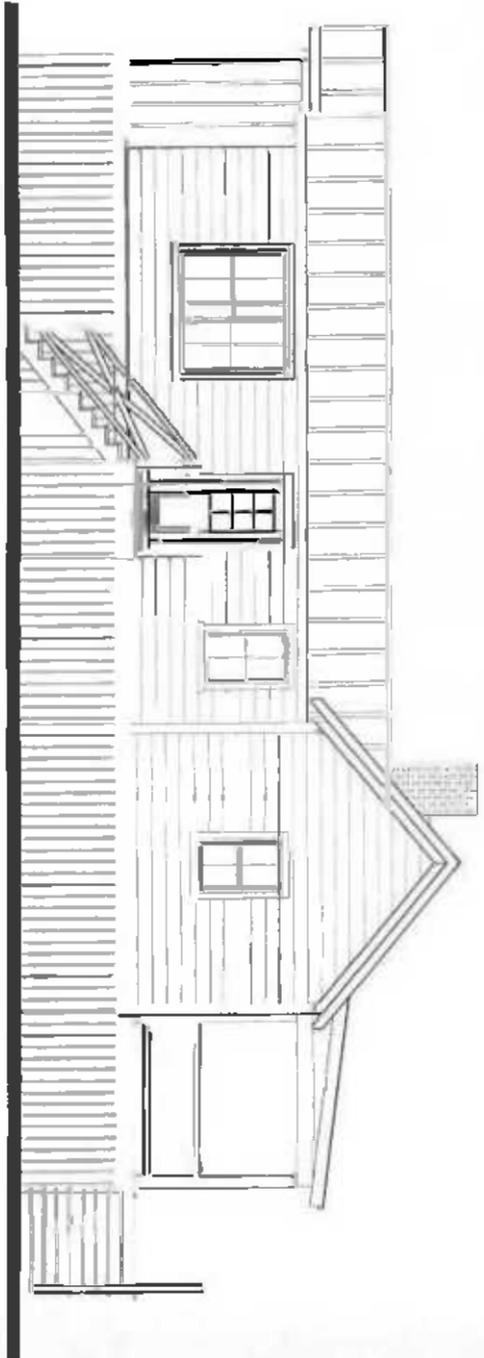
OPTION #1 PORCH RESTORATION WITH ADDITION

E3
OPTION #1
FLOOR PLANS

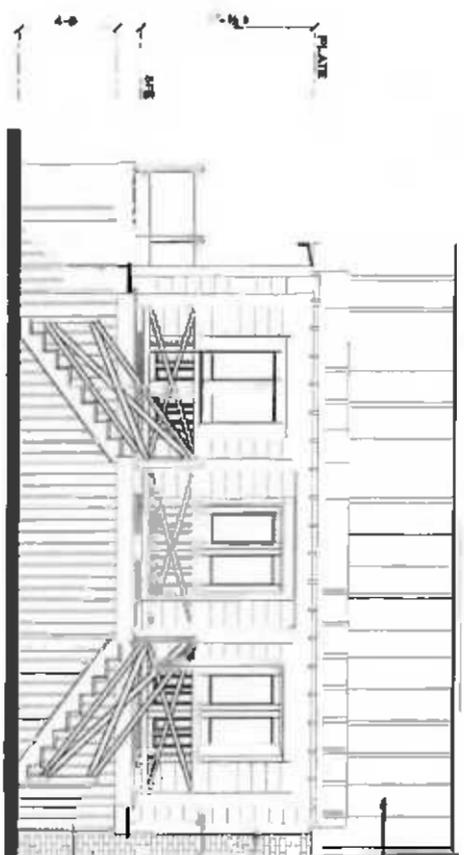
DESIGN
MW DESIGN, LLC
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SC 29928
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STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

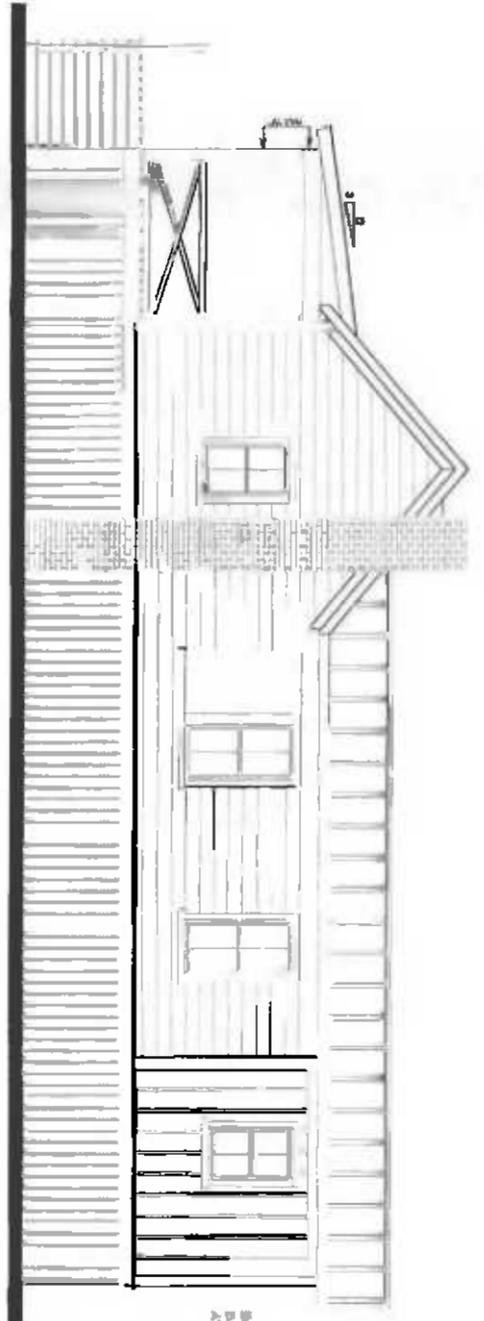
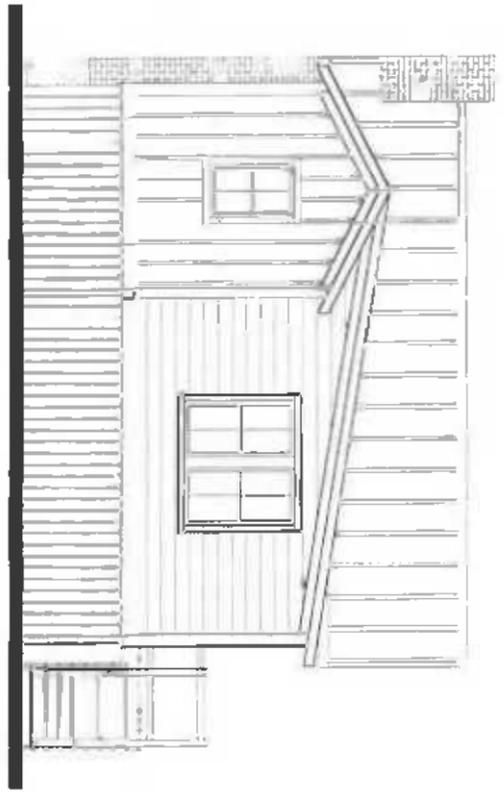
PORTER COTTAGE



LEFT ELEVATION
SCALE: 1/8" = 1'-0"



- NEW METAL ROOF
- 4" X 6" CORNER BRACKETS
- NEW 2" X 8" CEMENT (NO) HORIZONTAL LAP SIDING, TYPICAL
- NEW 2" X 4" VERTICAL SIDING



BRICK & BATTON SIDING AT ADDITION

OPTION #1 PORCH RESTORATION WITH ADDITION

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR

THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

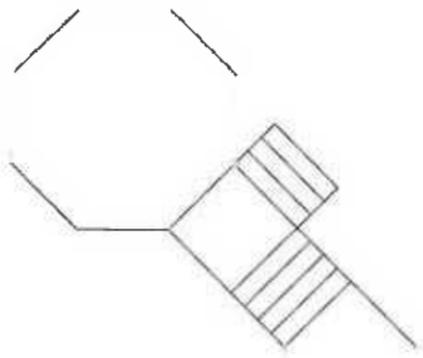


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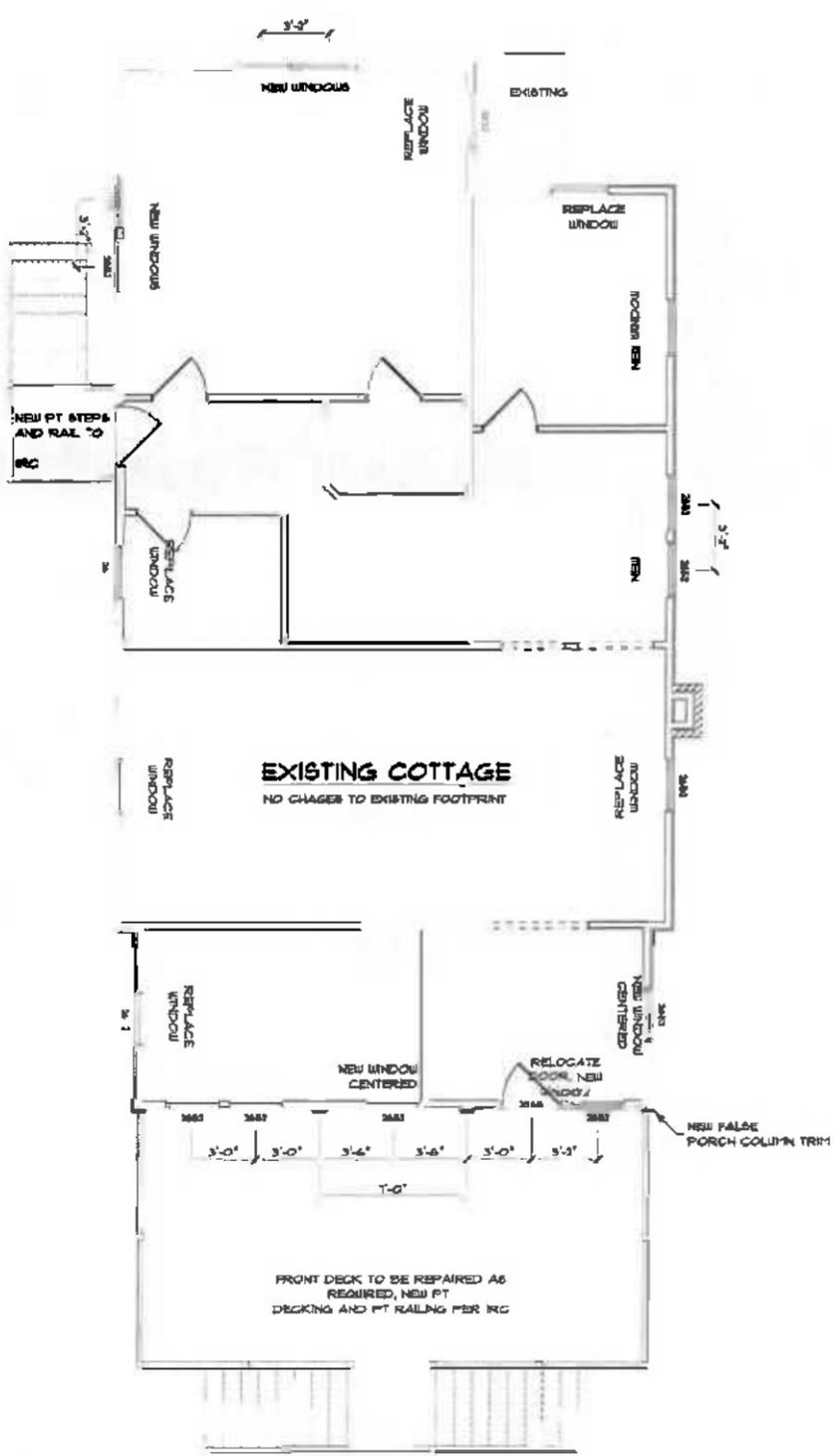
PORTER COTTAGE

DATE: 3/20/18

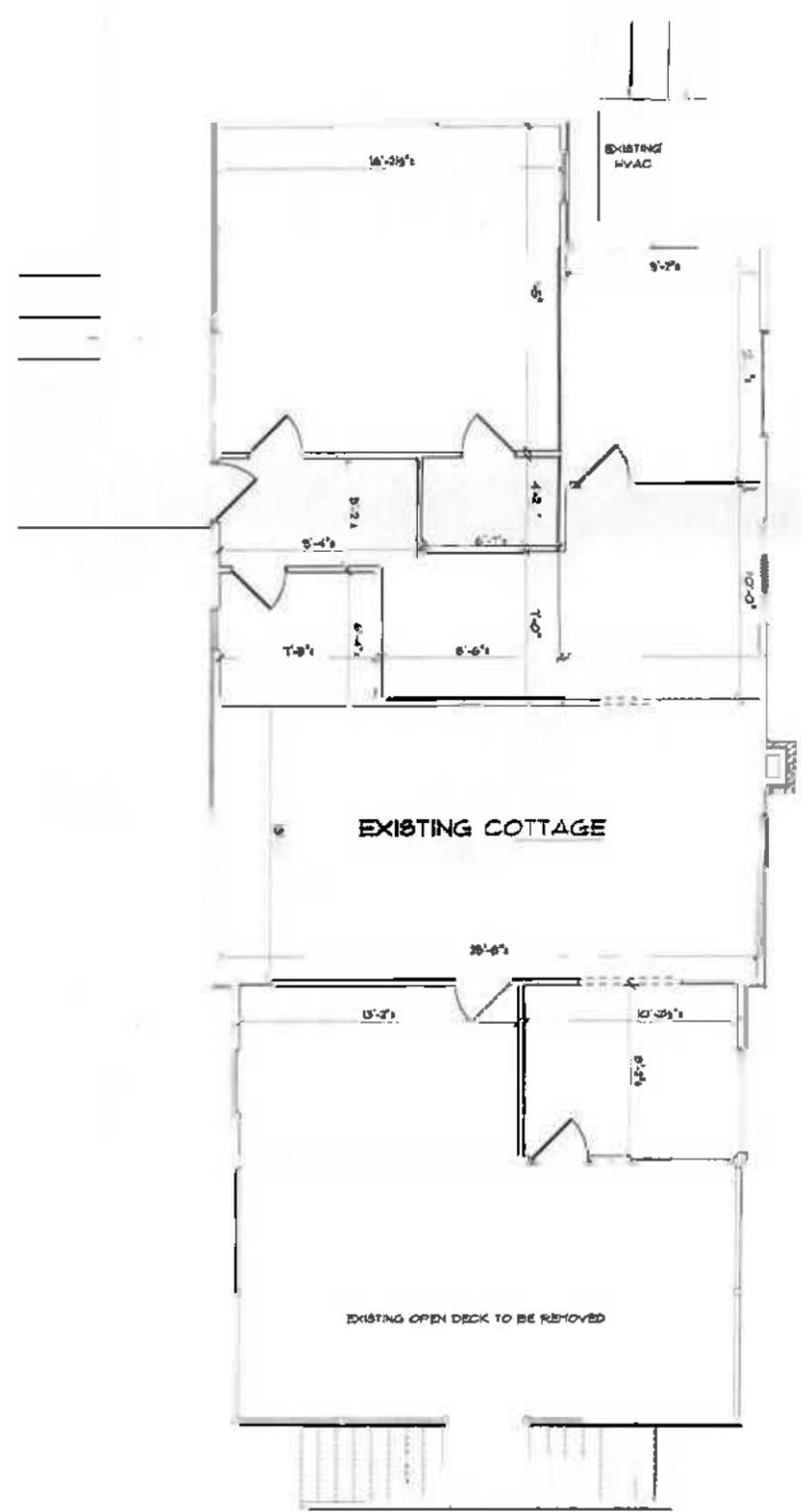
E4



EXISTING COVERED PORCH TO BE REMOVED



PROPOSED FLOOR PLAN OPTION 2
SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

OPTION #2 NO FOOTPRINT CHANGES, RESTORATION ONLY

E2.1
OPTION
LOOR PLAN

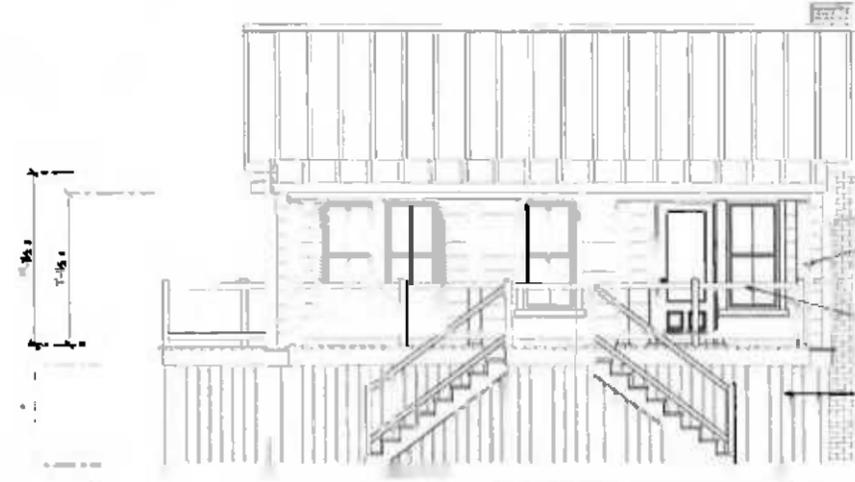
**PORTER
COTTAGE**

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STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA

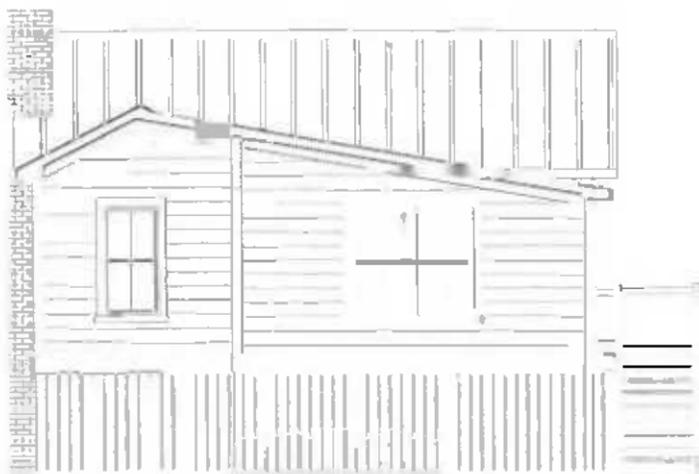


LEFT ELEVATION



FRONT ELEVATION

- NEW METAL ROOF
- NEW PC CORNER BOARDS
- NEW FALX PORCH COLUMN TRIM
- NEW FIBER CEMENT (PC) HORIZONTAL LAP SIDING, 1" EXPOSURE TYP.
- NEW PT 2x4 RAILS AND TRADITIONAL X BRACE DETAILING, X NOT SHOWN
- NEW PT 2x4 VERTICAL



REAR ELEVATION



RIGHT ELEVATION

OPTION 2 NO FOOTPRINT CHANGES, RESTORATION ONLY

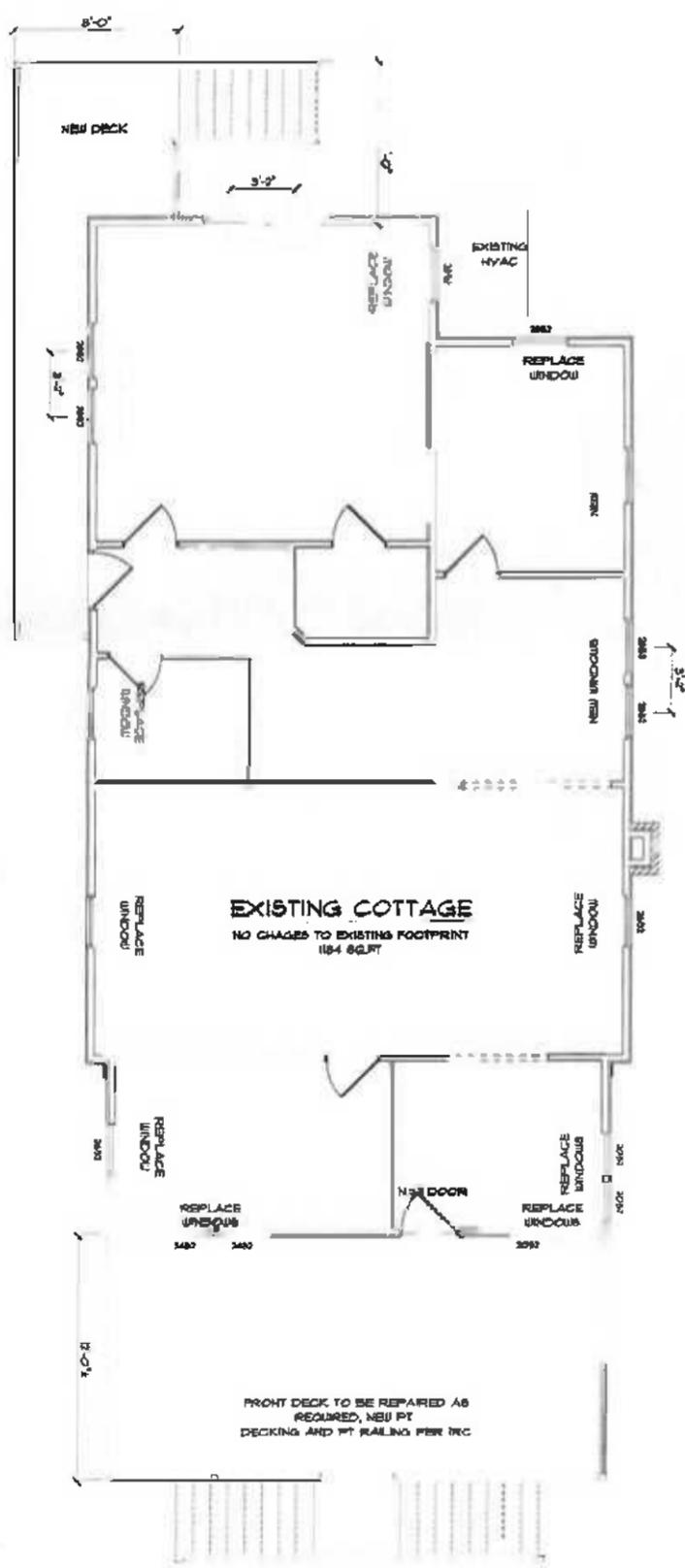
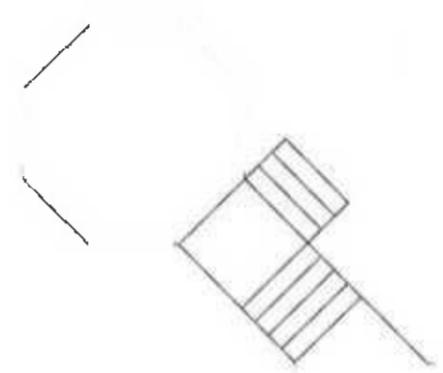
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN FOR
THE PORTER COTTAGE RENOVATIONS
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



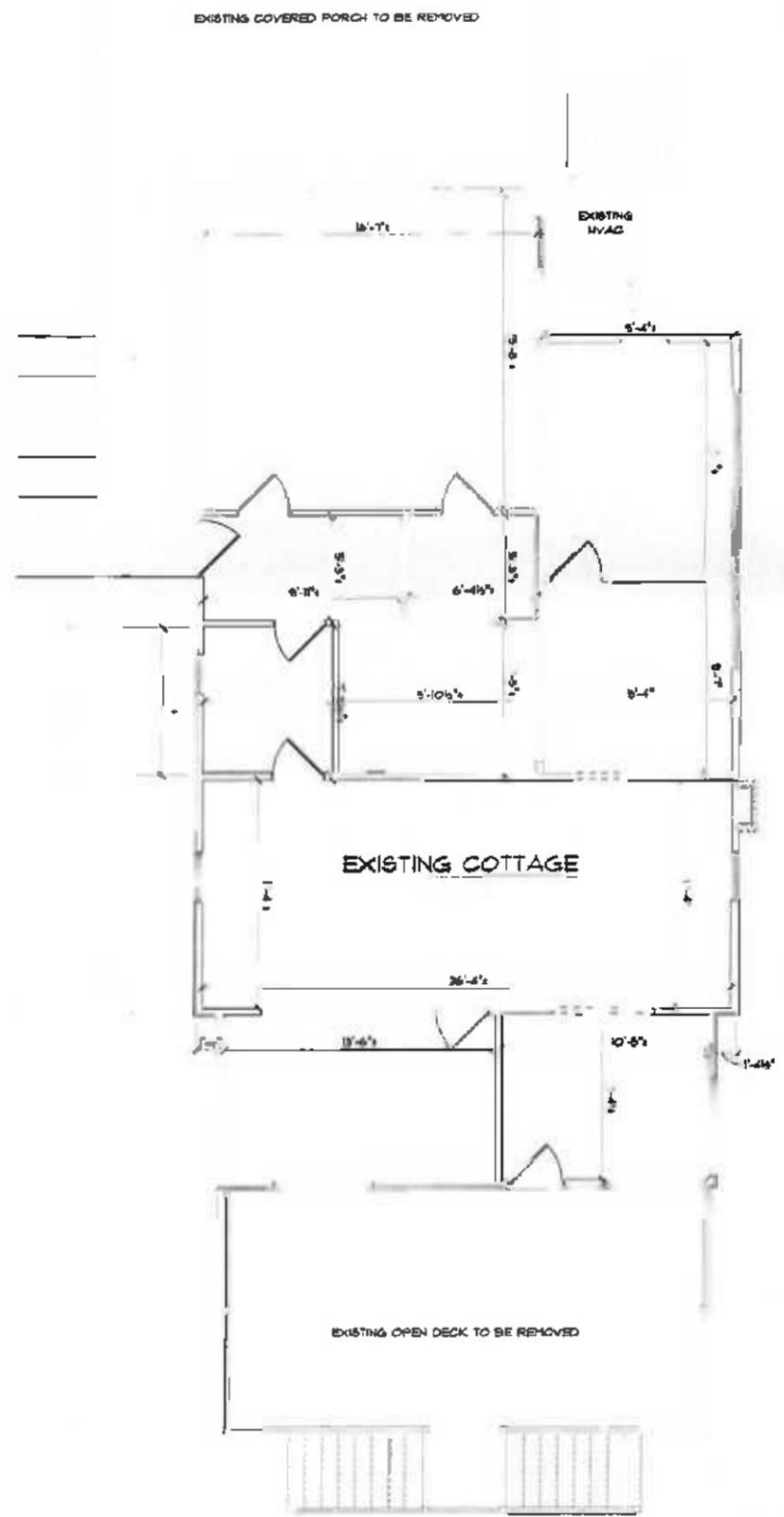
PORTER COTTAGE

DATE: 07/20/15
 0-2015

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PROPOSED FLOOR PLAN OPTION 3
SCALE: 1/4" = 1'-0"



EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

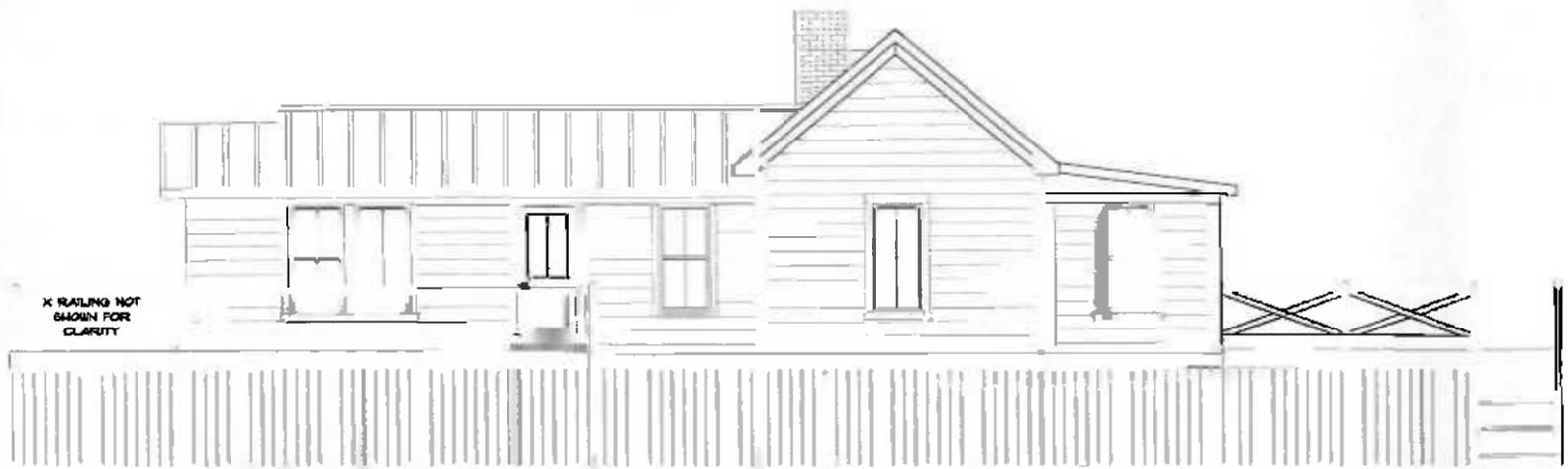
OPTION #3 NO FOOTPRINT CHANGES, RESTORATION ONLY

SHEET
E2.1
 OPTION 3
 FLOOR PLANS

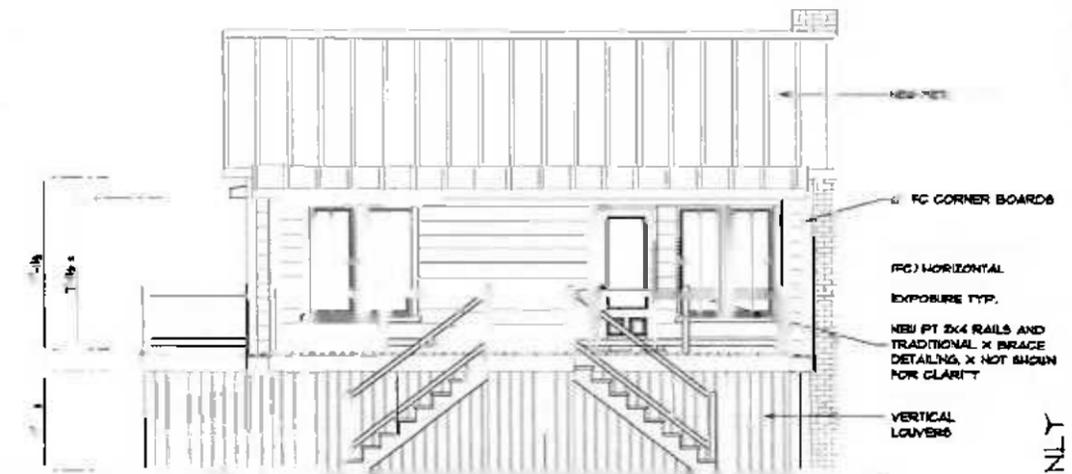
PROJECT
**PORTER
 COTTAGE**



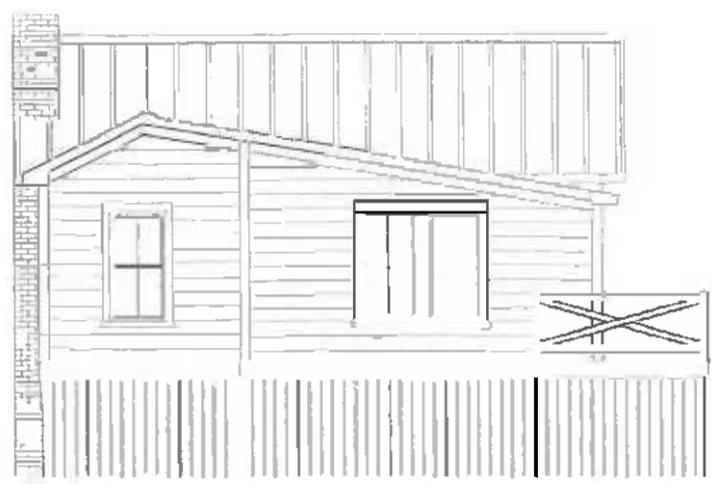
STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR:
THE PORTER COTTAGE RENOVATIONS
2668 GOLDBUG AVENUE
SULLIVANS ISLAND, SOUTH CAROLINA



LEFT ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

OPTION 3 NO FOOTP INT CHANGES, RESTO ATION ONLY

STRUCTURAL ENGINEERING & DESIGN BY MW DESIGN, LLC FOR
THE PORTER COTTAGE RENOVATIONS
 2668 GOLDBUG AVENUE
 SULLIVANS ISLAND, SOUTH CAROLINA



PLANS FOR
PORTER COTTAGE

DATE: 03-2025
 JOB NO.: 23-005
 TYPED BY: [blank]
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- [Illegible text]
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- Historic Designation
- Design



**Historic Resource of Sullivan's Island
Survey Supplement #2
Altered Historic Resources Evaluation**

September 2007

General Information

Client: Colivander Historic Preservation, LLC
411 East 8th Street
Anniston Alabama 36207

Field Survey, Architectural Evaluation, Design Services

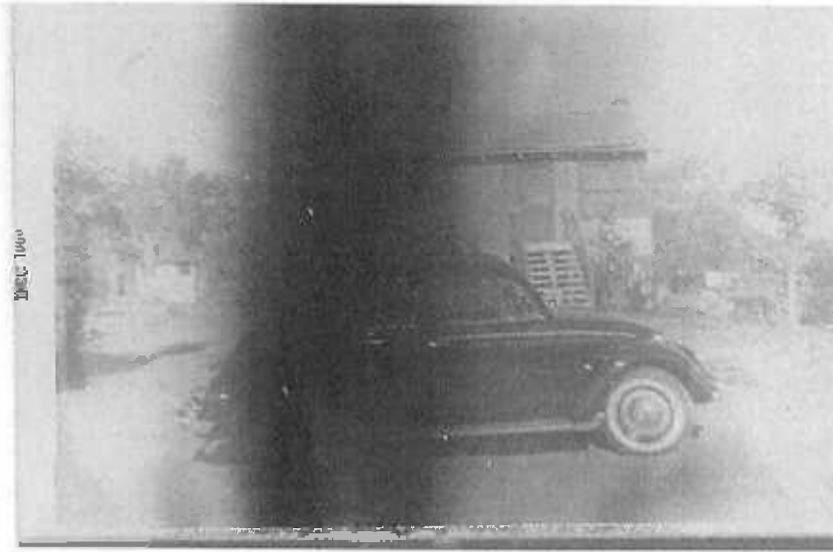
Date: September 2007

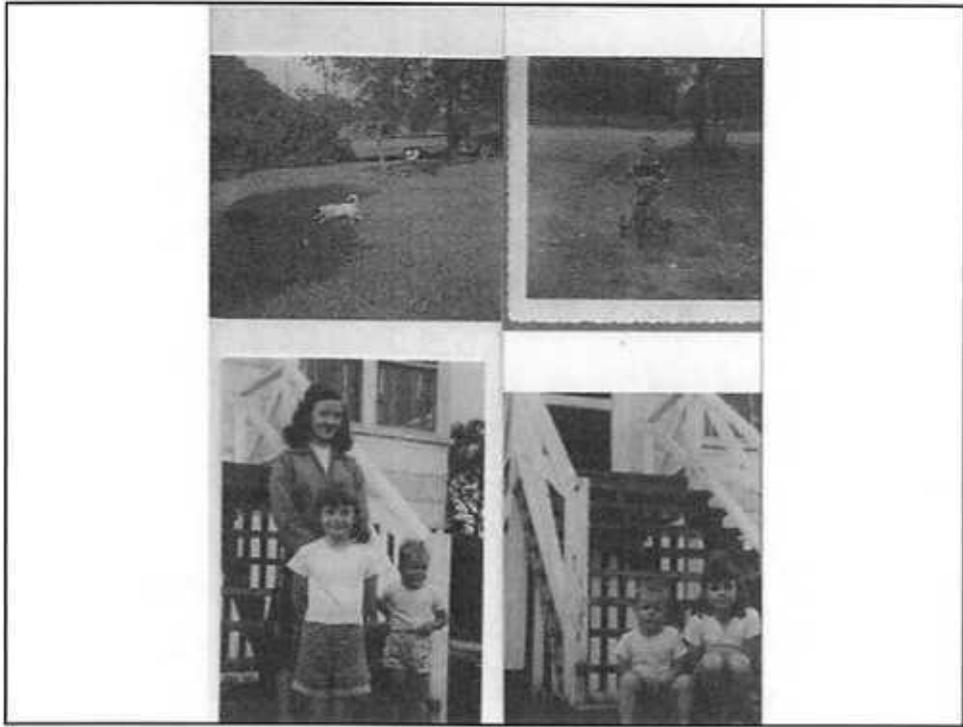
Prepared For: Tract of Sullivan's Island, South Carolina

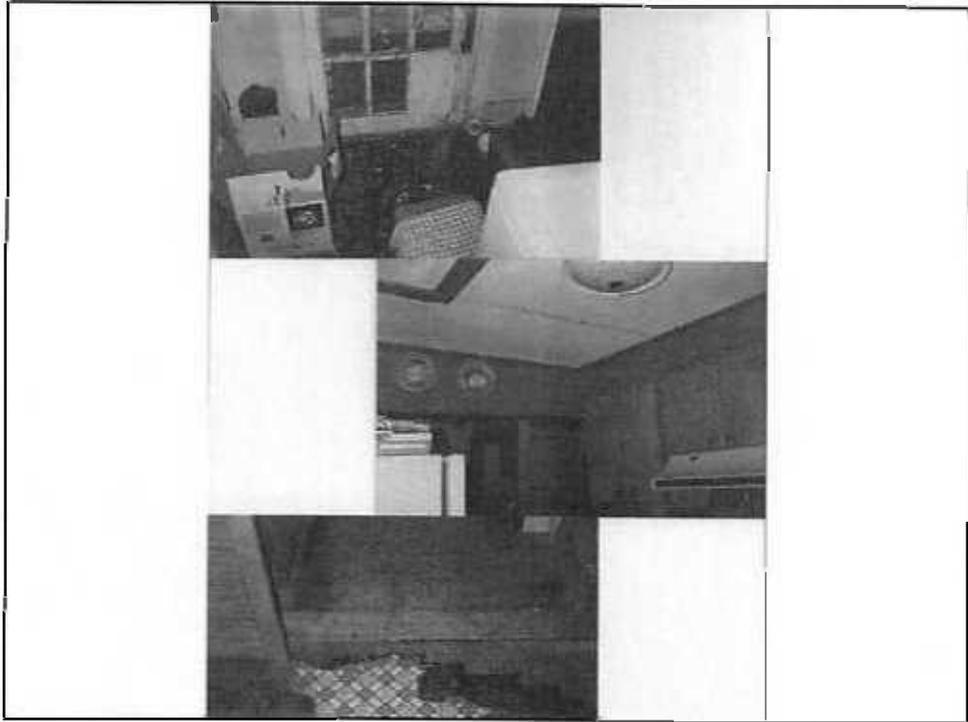
Project Summary

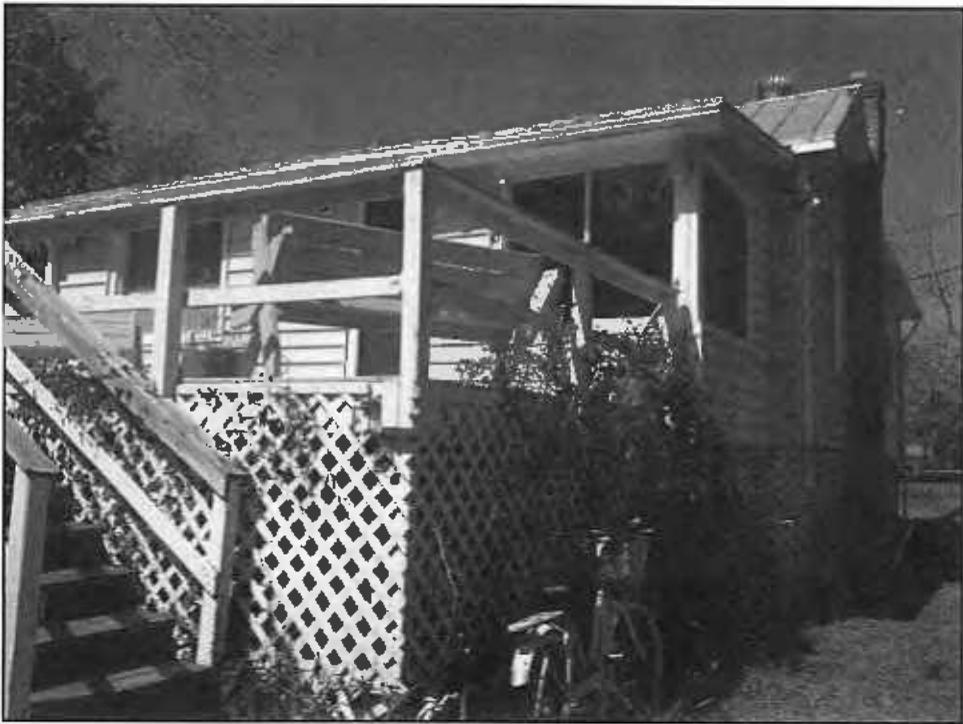
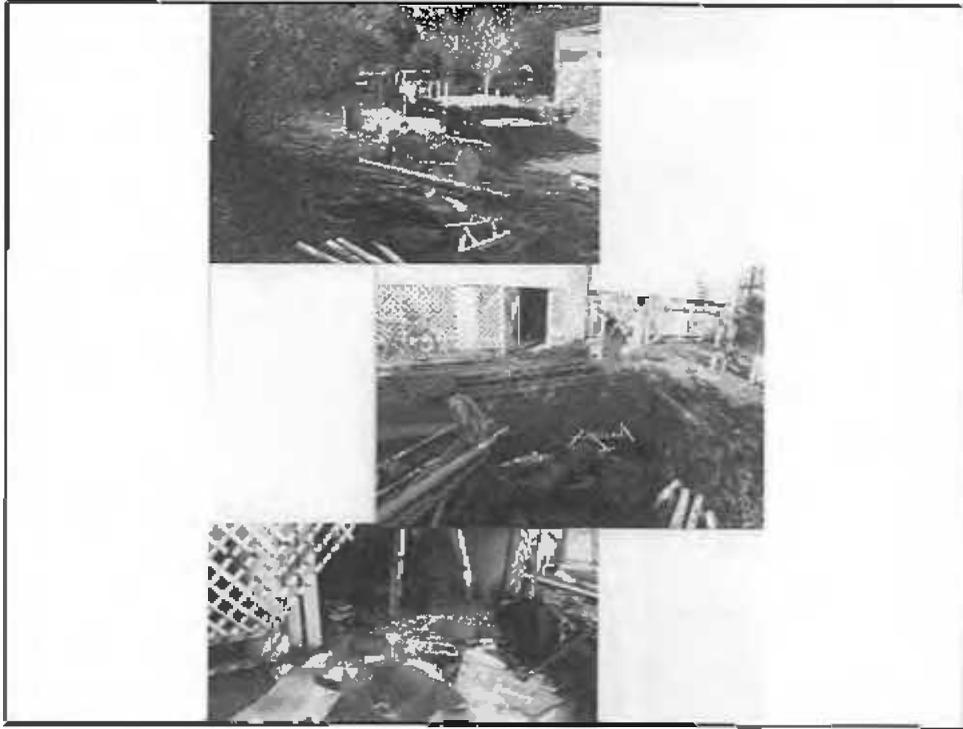
SHP reviewed all historic resources that had been previously rated "Altered" in the historic resource inventory of Sullivan's Island to determine if any of the resources retained sufficient historic architectural integrity to be considered as a "Landmark" or a "Traditional Historic Resource." Generally, the altered historic resources were further classified as "integrity lost" and "restorable." Resources classified as "integrity lost" were altered to a degree where their historic character was severely compromised, typically through extensive exterior alterations or additions. Alterations to resources classified as "restorable" were typically less extensive and these buildings appeared to retain enough historic character that they could be restored and possibly rated as "Traditional Historic Resources."

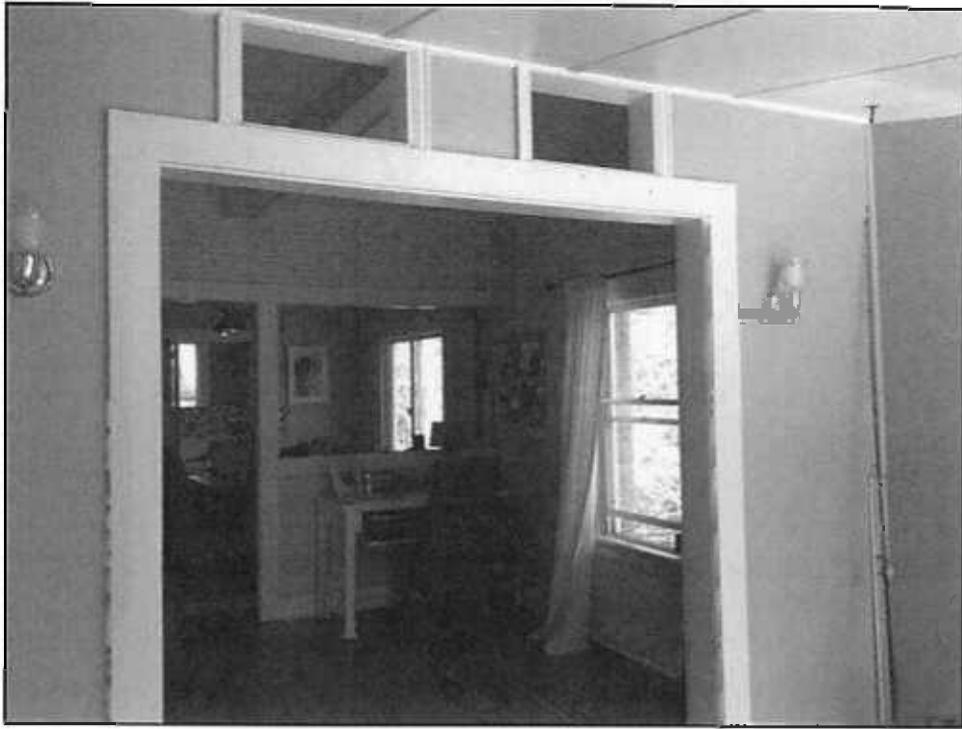
396 2668 Goldbug Ave Altered (restorable). Alterations have compromised the historic character of the house but appear to be reversible



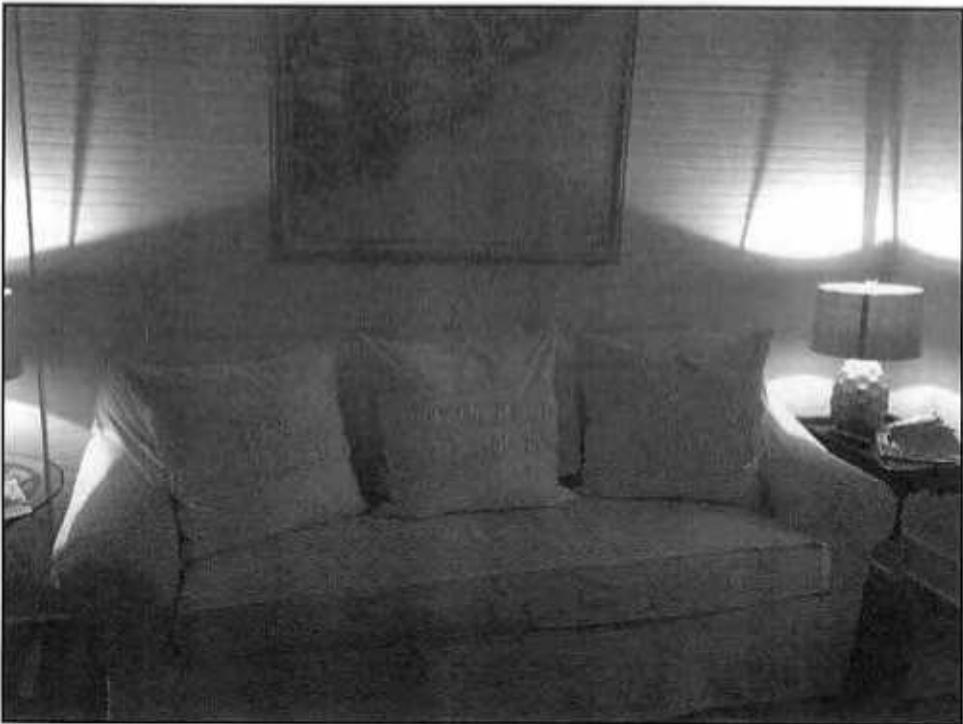


















Special Exception

- Zoning Ordinance 21-178
- Zoning Ordinance 21-20

Special Exception 21-178(C)

Step 1: BZA Findings (Section 21-178)

1. Adequate provision is made for such items such as setbacks, fences, and buffered or planting strips to protect adjacent properties from possible adverse influence of the proposed use, such as noise, vibration, dust, glare, odor, traffic congestion, and similar factors.
2. Vehicular traffic and pedestrian movement on adjacent roads shall not be hindered or endangered.
3. Off-street parking and loading areas and the entrance and exits of these areas shall be adequate in terms of location, amount, design, and construction to serve the proposed use.
4. The proposed use shall be compatible with existing uses to the extent that such use will not adversely affect the level of property values, general character, or general welfare of the nearby area.

Special Exception 21-20(c)

Step 2: Special Exception Regulations- (Section 21-20. C (2))

- Permission to build a second structure and to use the historic structure as an accessory dwelling is approved as a special exception by the Board of Zoning Appeals; and
 - i. The following conditions as covenants running with the property shall be placed on the real office for Charleston County before a building permit is issued:
 - ii. The lot shall remain in single ownership; more specifically, regardless of the type of ownership every owner, member, partner, shareholder, or unit owner, must have the same percentage of ownership in the historic structure as in any additional structure(s); and
 - iii. Every owner, member, partner, shareholder or unit owner must have the same amount of control over the use of the historic structure as over any additional structure(s); and

Other Considerations:

- Structure must be 1200 sq. ft. or less
- No discretionary increases allowed by DRB (lot coverages)
- May be rented long-term however must be owner occupied

Variance 21-179

Sec. 21-179. Variance.

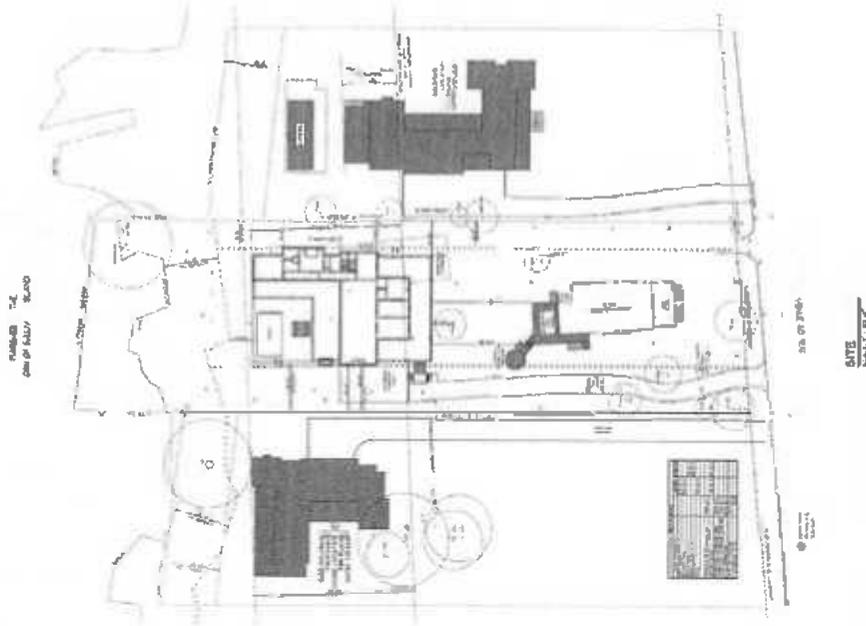
- A. The Board of Zoning Appeals may grant a variance from the terms of this Zoning Ordinance when strict application of the provisions of the Zoning Ordinance would result in unnecessary hardship.
- B. A variance may be granted in an individual case of unnecessary hardship if the Board makes and explains in writing the following findings:
- (1) There are extraordinary and exceptional conditions pertaining to the particular piece of property;
 - (2) These conditions do not generally apply to other property in the vicinity;
 - (3) Because of these conditions, the application of the Zoning Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property; and
 - (4) The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the granting of the variance will not harm the character of the district.

Variance 21-23(E): RC2 Setback

1 boundary line and all lot line distances as of the date the application is submitted.

C. Setbacks from RC-2 District.

- (1) The following Setback requirements shall apply to structures constructed or placed on lots bordering the RC-2 District:
 - (a) Thirty (30) foot Setback from the lot line bordering the RC-2 Zoning District boundary line or the South Carolina Department of Health and Environmental Control, Office of Ocean and Coastal Resource Management (SCHEC OCRM) "Critical Area Line" established as of the date the Certificate of Zoning Compliance and the Building Permit are issued, whichever is further landward from the RC-2 Zoning District.
 - (b) No structure greater than four and one-half (4 1/2) feet shall be constructed or moved on a lot so that any portion of the structure closest to the Rear Lot Line is further from the center of the right-of-way forming the landward boundary of the Lot and running generally parallel with the marshlands than the greatest distance between the center of the said right-of-way to the furthest point of any dwelling on the block on which the lot is located.
 - (c) Any Certificate of Zoning Compliance and Building Permit issued for construction governed by this section shall be valid for twelve (12) months, and if construction has not commenced within said

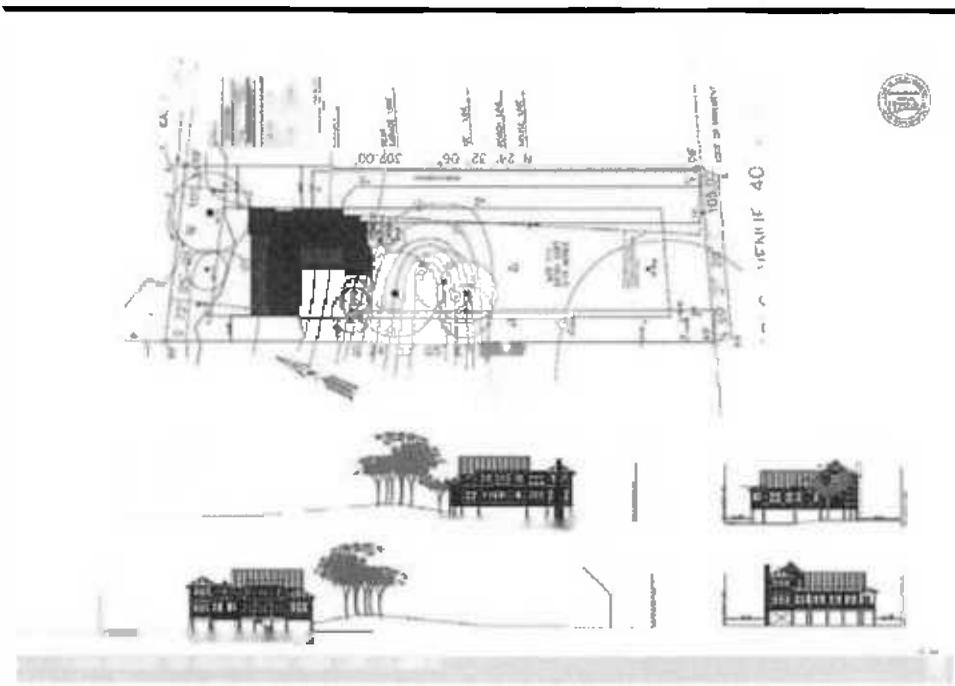


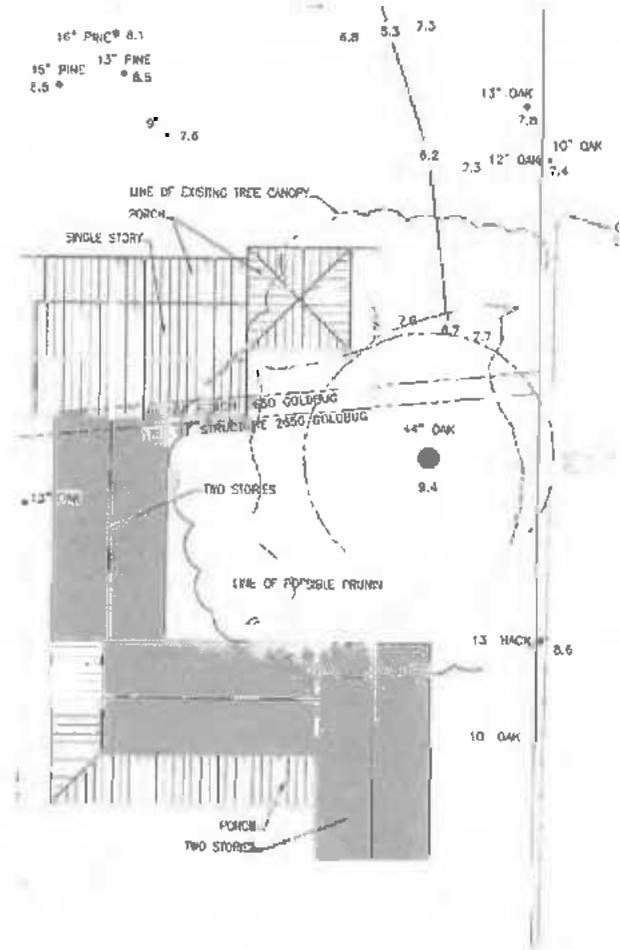
Neighbors GRANTED SAME Variance

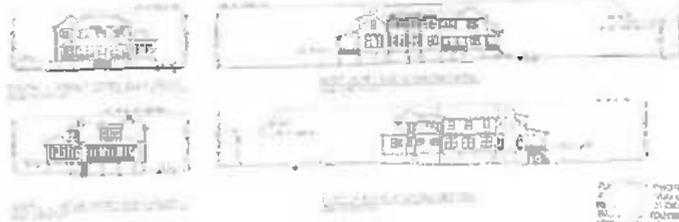
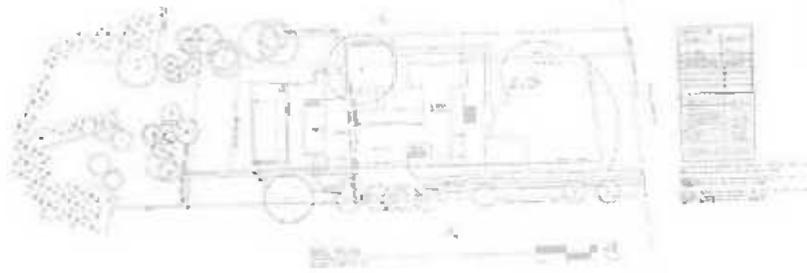
- 2662 Goldbug – MacNaughton Property
- 2672 Goldbug Ave – Browder Property

2662 Variance

- 2008
- Permitted 2016
- Essentially Same Variance





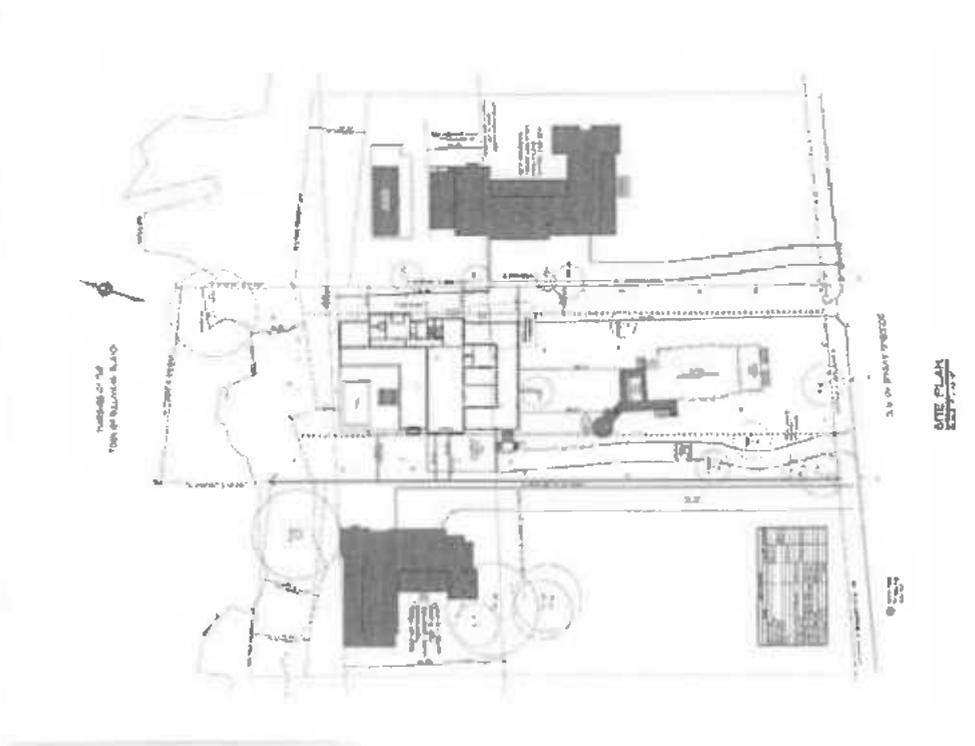


PLAN
SECTION
ELEVATION
FOUNDATION
DETAILS
LANDSCAPE
SCHEDULE

PROJECT NAME
ADDRESS
CITY
STATE
ZIP
DATE
DRAWN BY
CHECKED BY
APPROVED BY

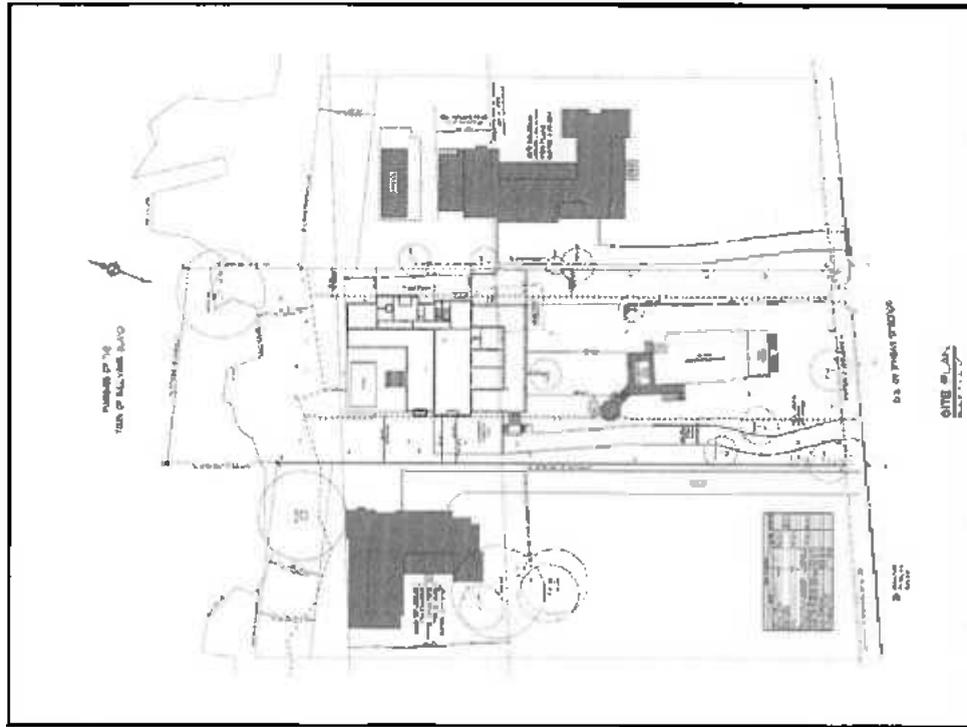
S2





2668 GOLDBUG AVENUE
LOT 114 MOULTRIEVILLE EAST
TOWN OF SULLIVAN ISLAND
SOUTH CAROLINA
TMS 529-07-00-008





Intent of Ordinance Support from Town

From: Smith, Susan (susan.smith@haysworth.com)
Sent: Wednesday, March 02, 2016 12:34 PM
To: Joe Handman
Subject: 3908 Goldbug - support for requested variance

Hi,

I'm sharing my support for a nearby resident on Goldbug for the application and service requested by the owner of 3908 Goldbug. At the time it is not clear that I will be able to attend our Thursday's BZA meeting when this will be discussed and so I want to make my feelings known.

I have seen the application, floor layout, and lot coverage information and believe the variance requested and the efforts taken to have the cottage designated as historic via special section 13 and further the Town's desire to preserve the historic district. By allowing the variance (if the special ordinance for historic designation is granted) the newer house will be sufficiently separate from the historic structure to allow it to have full ownership, if you will, thereby furnishing the town's desire to preserve its historic roots while allowing for architecturally pleasing newer construction to complement rather than detract from the historic nature of the cottage.

Thinking back to my time on the BZA (as a member variance request) for the residence spaced somewhat to the right of 3908 Goldbug (so you face the marsh). At the time the owners of that lot made a well-reasoned plea to leave their new house closer to the marsh in order to preserve a large oak. I do not see any differences between these two requests and am hopeful the neighbors would not object to Allen's request just as he did not object to their request.

I would make a suggestion that if the requested variance is granted that the mason doing so somewhere within the portion of the house closest to the marsh make a one story (or perhaps height limited). The idea is to avoid a situation like we saw with the house to our right where a variance was granted but the owner refused that the same marsh-ward elevation make up a portion of the house would be one story but was not built as was reported to the BZA.

**Haysworth
Sinkler Boyd, PA.**

Susan L. Smith, P.A. Attorney • www.sinklerboyd.com
1540 Irving Street, 3rd Floor 29602 • Fax: Office 843.398.1294/22 | Charleston, South Carolina
Home 843.722.2566 | F/P 843.722.2286 | D/W: 843.725.4427 | M/Fax: 843.398.8662

ATTORNEY AND COUNSELOR AT LAW

MEMBER OF THE BAR

Dear Sirs,

I am writing to you via the Board of Zoning Appeals in support of the request of Mr. Porter for a special exception and variance on the property located at 2668 Goldbug Avenue.

The cottage in question has been in existence on Sullivan's Island since 1915. I know that the Brown family owned and occupied this house from the year 1950 until 1981, after which it was sold to Mr. Porter. The cottage is very small in size and, like the homes in our neighborhood, is a modest, unassuming structure. The small cottages were and are an integral part of the fabric of Sullivan's Island's history and character. They are rapidly disappearing. We should be doing all we can to save, rather than destroy, these structures.

I believe the intent of Council when creating the Historic Preservation Ordinance was to save such structures. There must have been an oversight at the time the Historical Structures Survey and Inventory were conducted. In my opinion, this cottage fits the qualifications and should have been included in the inventory of structures significant to the Island's history.

I respectfully ask that the Board give every consideration to Mr. Porter's request and grant the special exception and variance.

Thank you for your time and service to our community.

Sincerely,
 Myrland Scott

Members of DRB and BZA,

I would like to voice my support for the project proposed at 2668 Goldbug. The existing house on that lot is one of my favorite homes on the street and island for that matter. When Mr. Porter showed me his plans I was pleasantly surprised for several reasons.

* First, there have been many homes built in our neighborhood in the last several years and he is the only one who has taken the time to show me the plans prior.

* Secondly, I am ecstatic he plans to keep the current structure on the property and preserve some historic character to this island.

* Thirdly, others have requested and been granted a similar request and I think this one would allow for better neighborhood compatibility.

Please let me know if I can elaborate on any points or if you need any clarification.

Pierce Cauthen
 2714 Jasper Blvd
 (803) 283-0028

APPLICATION TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 683-3198

(FORM A)

Project Address: 2850 JASPER BLVD
 Submittal Date: 5/20/16
 Meeting Date: 6/15/16 Parcel I.D. (TMS#): 529-07-00-030

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

<input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input type="checkbox"/> Submittal is <i>within</i> the Historic District and is: _____ designated as Historic Resource _____ not designated as Historic Resource Historic Survey #: _____	<input checked="" type="checkbox"/> Submittal is <i>outside</i> the Historic District and ✓ _____ designated as Historic Resource Historic Survey #: <u>54</u>
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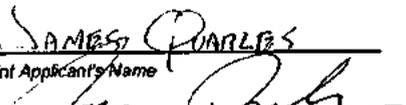
Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: RACQUEL & JOSE BIASOCCA Architect / Designer: BEAU CLOWNEY ARCHITECTS
 Address: 2830 JASPER BLVD. Contact #: 843.722.2040
SULLIVAN'S ISLAND, SC email: JAMES@BEAUCLOWNEY.COM
 email: JOSE@BIRDSANDEYES.COM Contractor: N/A
 Contact #: 843.343.7330 Contact #: _____
 email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:

RENOVATION TO HISTORIC STRUCTURE. HISTORIC STRUCTURE IS LESS THAN 1,200 SF EXISTING AND RENOVATION WILL BE LESS THAN 1,200 SF LIMITED. REQUESTING APPROVAL FOR RENOVATION, RELOCATION AND FOR HISTORIC STRUCTURE TO BE USED AS ACCESSORY DWELLING UNIT.

I (We) submit that the above information is true to the best of My (Our) knowledge. <u>JAMES CHARLES</u> Print Applicant's Name  Applicant Signature	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. Owner's Signature	Fee Received by _____ check # _____
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REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2850 JASPER BLVD

Submittal Date: 5/20/16

Meeting Date: 6/15/16

BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>21,722</u> sf
Lot Width:	<u>105 / 87.52</u>
Lot Depth:	<u>232.36 / 222.79</u>
Flood Zone / Base Flood Elevation:	<u>AE 13</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>1,136</u> sf
Accessory Building Footprint:	<u>—</u> sf
Total Principal Bldg. Coverage Area:	<u>1,136</u> sf
(Principal Building plus Accessory Structure)	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>1,136</u> sf
Covered Porches:	<u>406</u> sf
Open Decks / Steps:	<u>434</u> sf
Pool / Patio:	<u>—</u> sf
Drives / Walks:	<u>—</u> sf
Other Impervious Coverage	<u>—</u> sf
Total Impervious Coverage	<u>1,976</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>1,136</u> sf
Second Floor	<u>—</u> sf
Third Floor	<u>—</u> sf
Accessory Building	<u>—</u> sf
Total Principal Building Square Footage:	<u>1,136</u> sf
(Principal Building plus Accessory Structure)	

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: CONCRETE / STUCCO PIERS (NEW)
 Walls: WOOD SIDING (PAINTED)
 Trim: WOOD (PAINTED)

Roof: STANDING SEAM METAL
 Windows: EXISTING WOOD / NEW CLAD WOOD
 Doors: WOOD

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

2850 Jasper Blvd

Submittal Date:

5/20/16

Meeting Date:

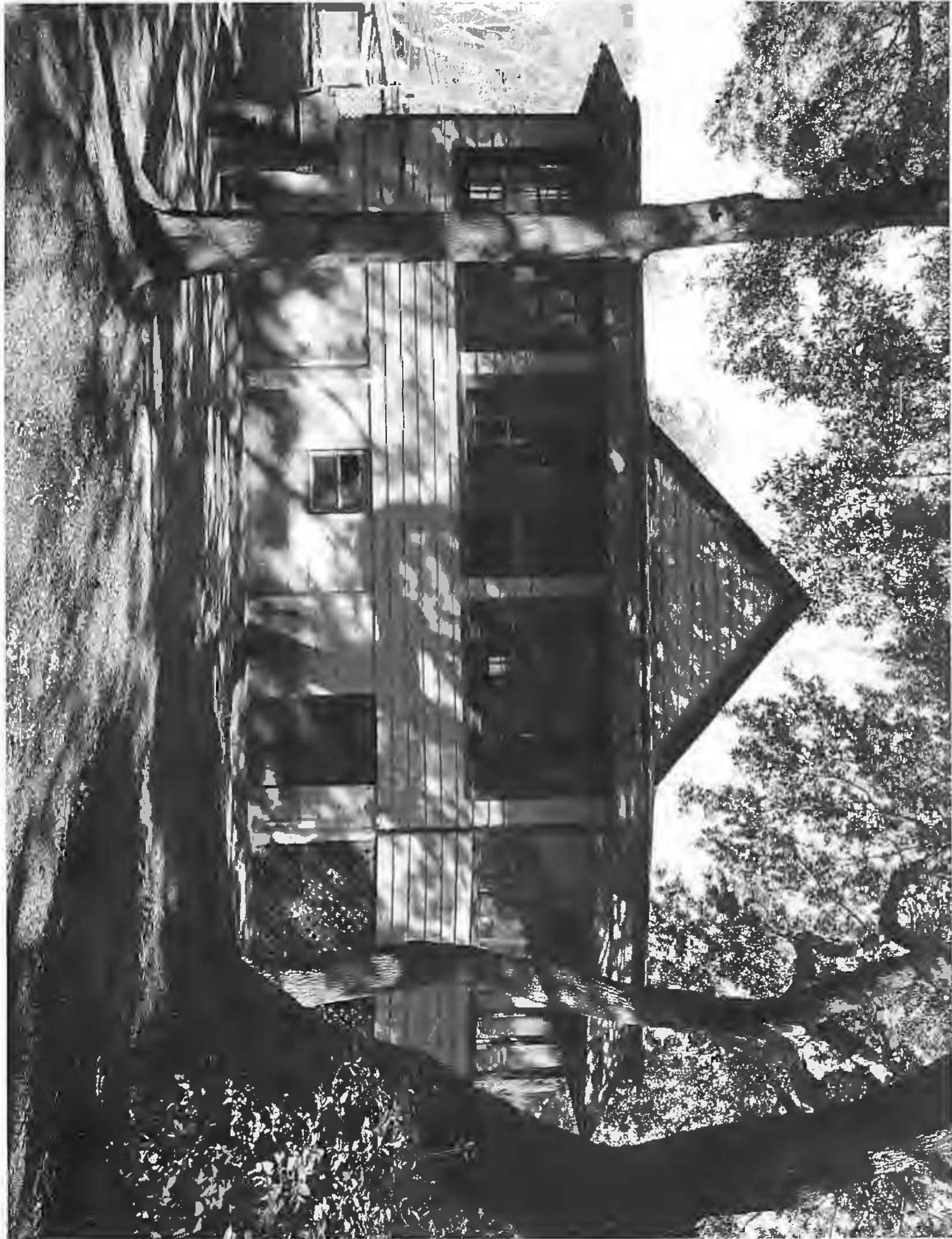
6/8/16

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: <u>15</u> min.; <u>39 3/4"</u> comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>3,258.3</u> sf	✓	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>6,516.6</u> sf	✓	20% _____ sf			
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4,136</u> sf	✓	25% _____ sf			
	I	21-28 Third Story	as per formula: Enter Result _____ sf		15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor		1 foot		100%	
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance		Adjust for Neighborhood Compatibility			







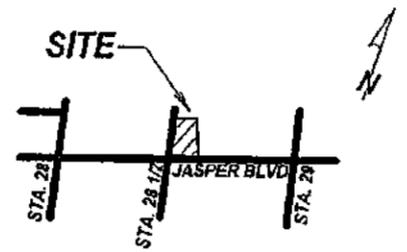


APPROVAL OF THIS PLAT IS NOT INTENDED TO, NOR DOES IT CONSTITUTE, RECONCILIATION OF CONFLICTING BOUNDARIES OR APPROVAL OF ZONING CODE INFRACTIONS, IF ANY EXIST.

PLAT APPROVED
TOWN OF SULLIVAN'S ISLAND

PLANNING COMMISSION CHAIRMAN

DATE 4/14/10



LOCATION MAP
N.T.S.

I CERTIFY THAT THE PROPERTY SHOWN HEREON APPEARS IN FLOOD ZONE AE, ELEV 13 AS SHOWN ON FIRM MAP NUMBER 45019C0539J; EFFECTIVE DATE NOVEMBER 17, 2004.

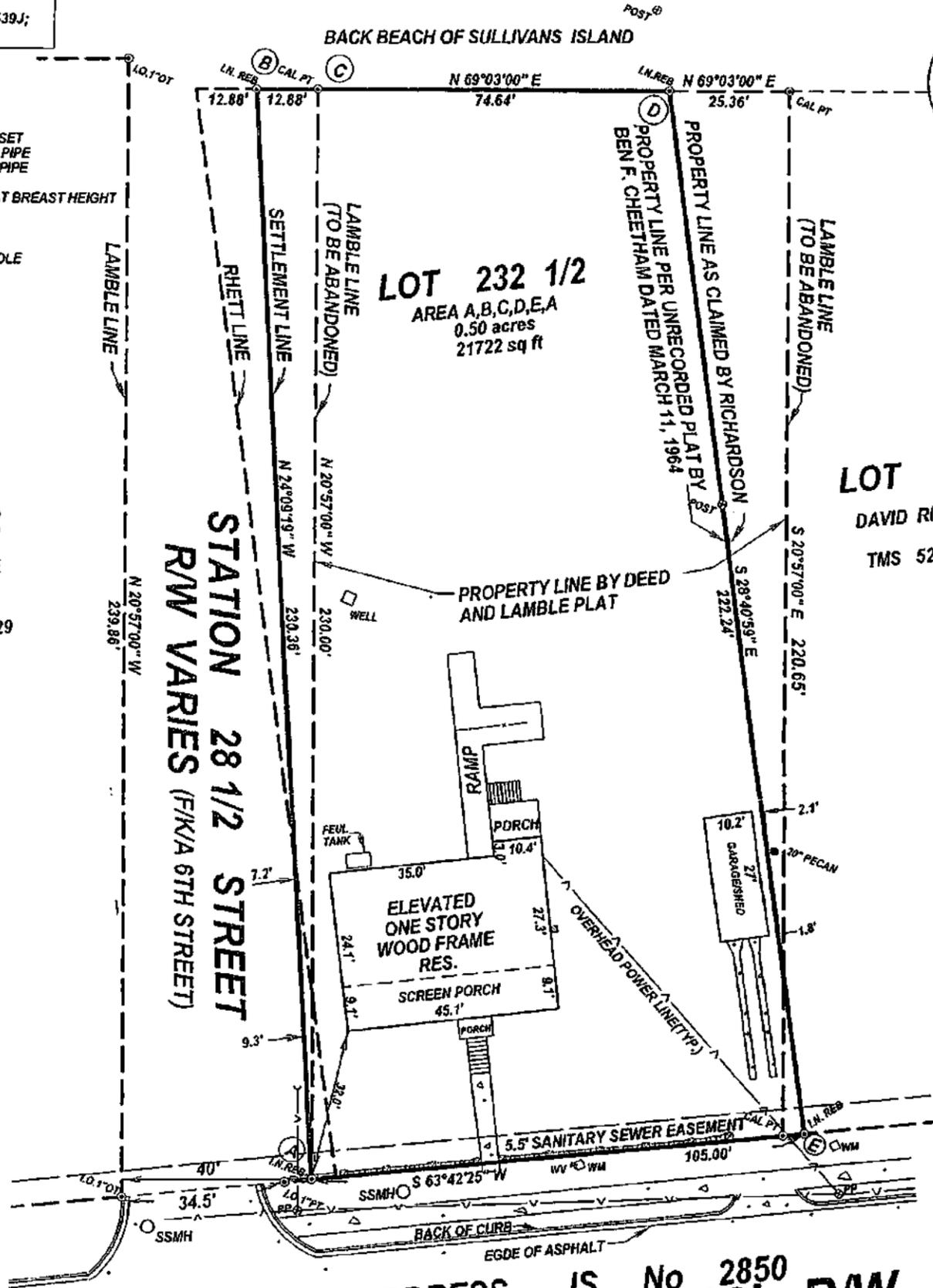
LEGEND:

- 1. I.N. REB. - INDICATES IRON NEW No. 5 REBAR SET
- 2. I.O. 1"PT - INDICATES IRON OLD 1" PINCH TOP PIPE
- 3. I.O. 1"OT - INDICATES IRON OLD 1" OPEN TOP PIPE
- 4. CAL. PT. - INDICATES CALCULATED POINT
- 5. 20" PECAN - INDICATES 20" PECAN DIAMETER AT BREAST HEIGHT
- 6. PP - INDICATES POWER POLE
- 7. WM - INDICATES WATER METER
- 8. WV - INDICATES WATER VALVE
- 9. SSMH - INDICATES SANITARY SEWER MANHOLE

LOT 182

RACQUEL & JOSE
BIASCOECHEA

TMS 529-07-00-029



ADDRESS IS No 2850
JASPER BLVD. 100' R/W

PLAT

OF A RESURVEY OF LOT 232 1/2, MOULTRIEVILLE, EAST END, SULLIVANS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA. TO RESOLVE THE BOUNDARY LINE BETWEEN LOT 232 1/2 AND LOT 232 E AND STATION 28 1/2 STREET FORMERLY 6TH STREET. PRESENTLY OWNED BY NELLIE J. DAWSEY.

(Surveyed according to Plat of Lamble's recorded 12 March, 1902 in book "D" at page 184. And also deed book "U-79", page 403.)



SCALE: 1"= 30'

- DATE: 31 MAY, 2006
- REVISED: 10 JULY, 2006
- REVISED: 21 SEPT., 2006
- REVISED: 22 JANUARY, 2007
- REVISED: SEPT. 10, 2008
- REVISED: JANUARY 5, 2010
- REVISED: APRIL 14, 2010

REF: PLAT BK. "D", PG. 184. (LAMBLE)
PLAT BK. "E", PG. 43 (RHETT)

T.M.S: 529-07-00-030

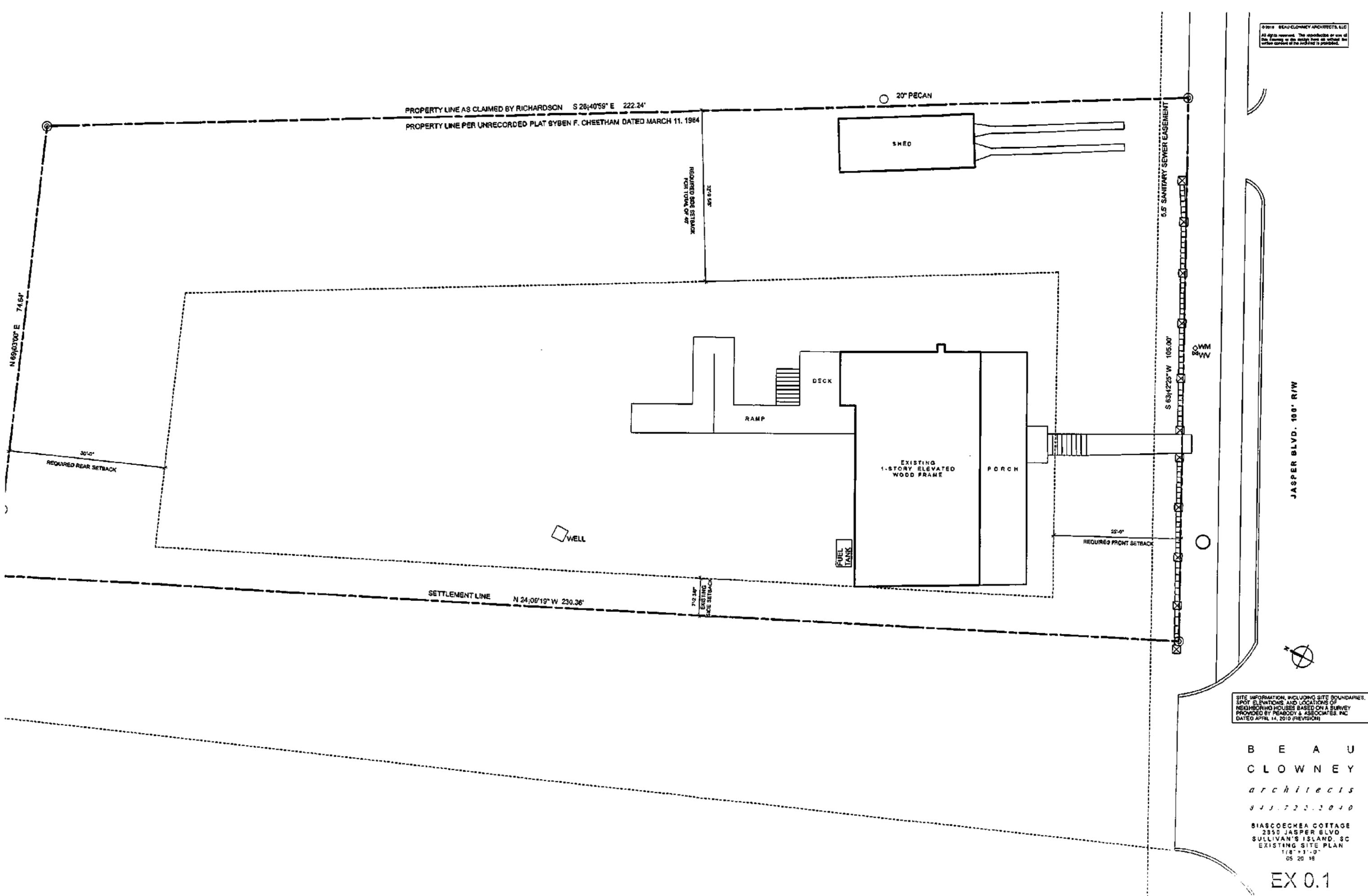
I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

(Signature)

ALEXANDER C. PEABODY, PLS
PEABODY & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYING
P.O. BOX 22646, CHARLESTON, SC 29413
OFFICE 843-723-5225 MOBILE 843-270-4847



CHARLESTON COUNTY
SOUTH CAROLINA



SITE INFORMATION, INCLUDING SITE BOUNDARIES,
SPOT ELEVATIONS AND LOCATIONS OF
NEIGHBORING HOUSES BASED ON A SURVEY
PROVIDED BY PEABODY & ASSOCIATES, INC.
DATED APRIL 14, 2010 (PREVIOUS)

B E A U
C L O W N E Y
architects
843.723.3010
BIASCOECHEA COTTAGE
2850 JASPER BLVD
SULLIVAN'S ISLAND, SC
EXISTING SITE PLAN
1/8" = 1'-0"
05 20 18



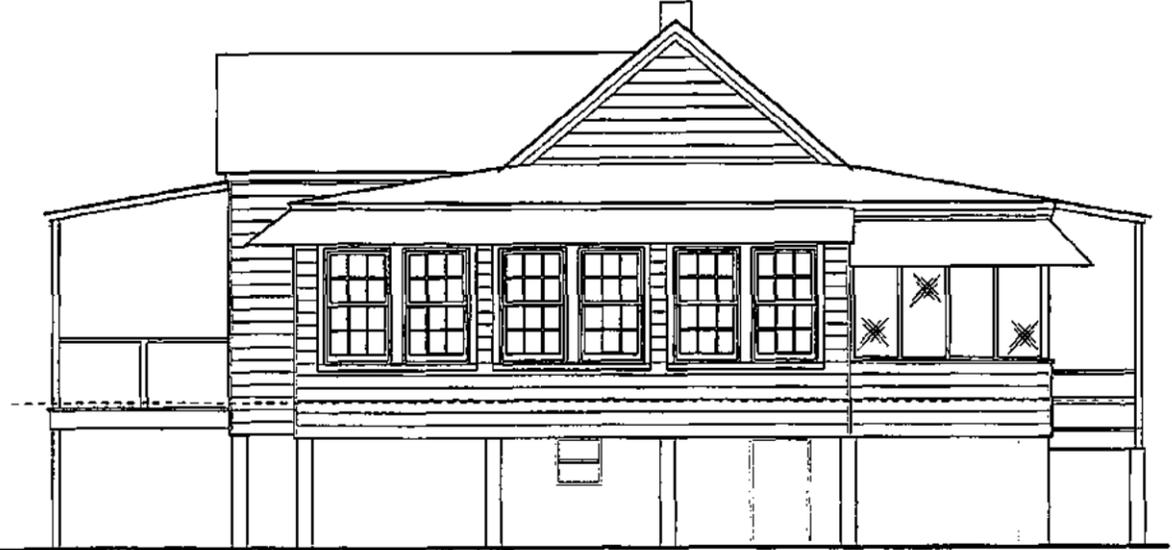
1
2.1 EXISTING STREET ELEVATION
SCALE: 1/8" = 1'-0"



2
2.1 EXISTING EAST ELEVATION
SCALE: 1/8" = 1'-0"



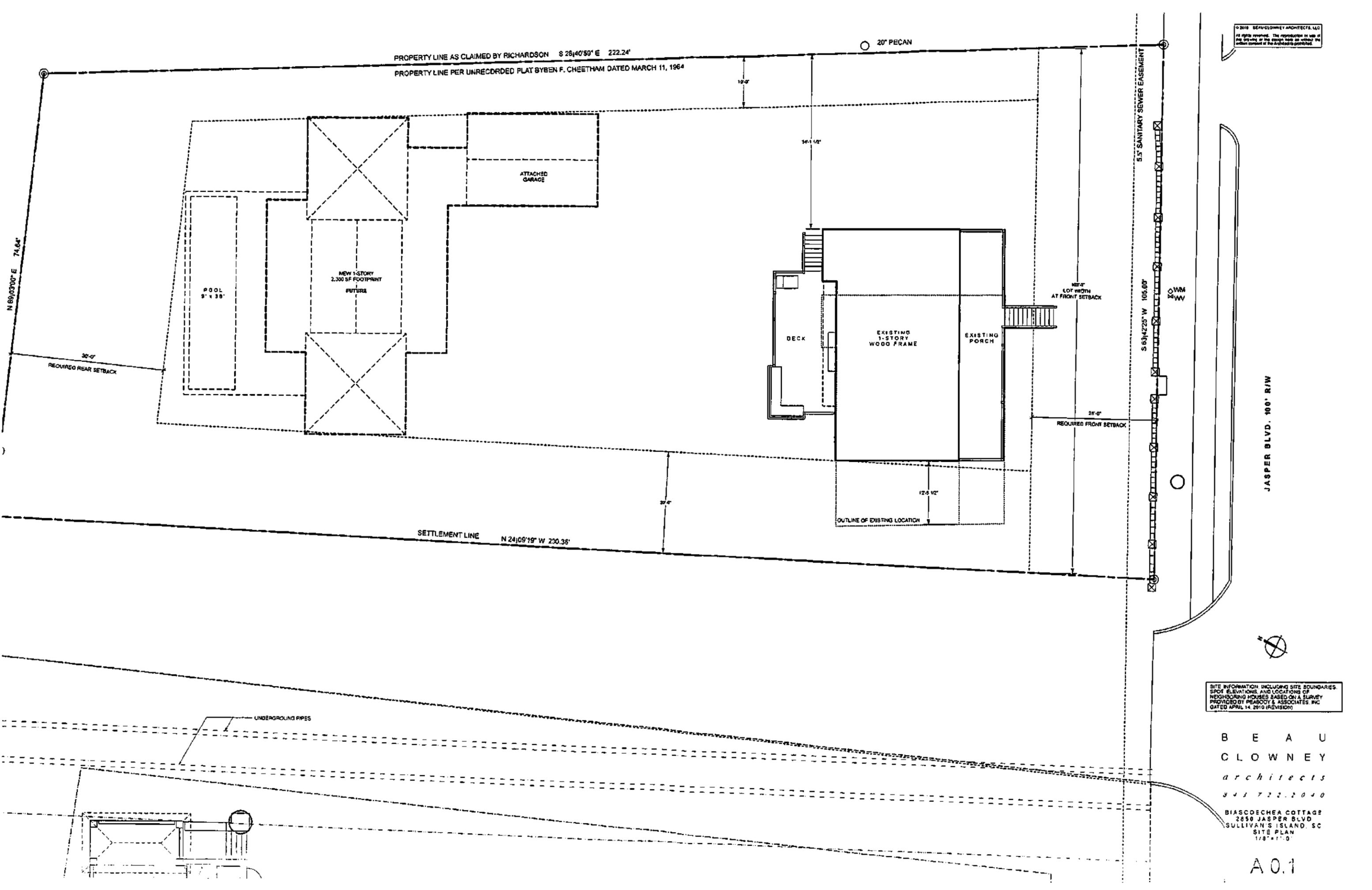
3
2.1 EXISTING NORTH ELEVATION
SCALE: 1/8" = 1'-0"



4
2.1 EXISTING WEST ELEVATION
SCALE: 1/8" = 1'-0"

B E A U
C L O W N E Y
a r c h i t e c t s
3 3 3 . 7 2 2 . 7 0 3 0
BIASCOECHEA COTTAGE
2850 JASPER BLVD
SULLIVAN'S ISLAND
EXISTING ELEVATIONS
11'-4" x 11'-0"
05.20.16

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written consent of the Architect is prohibited.

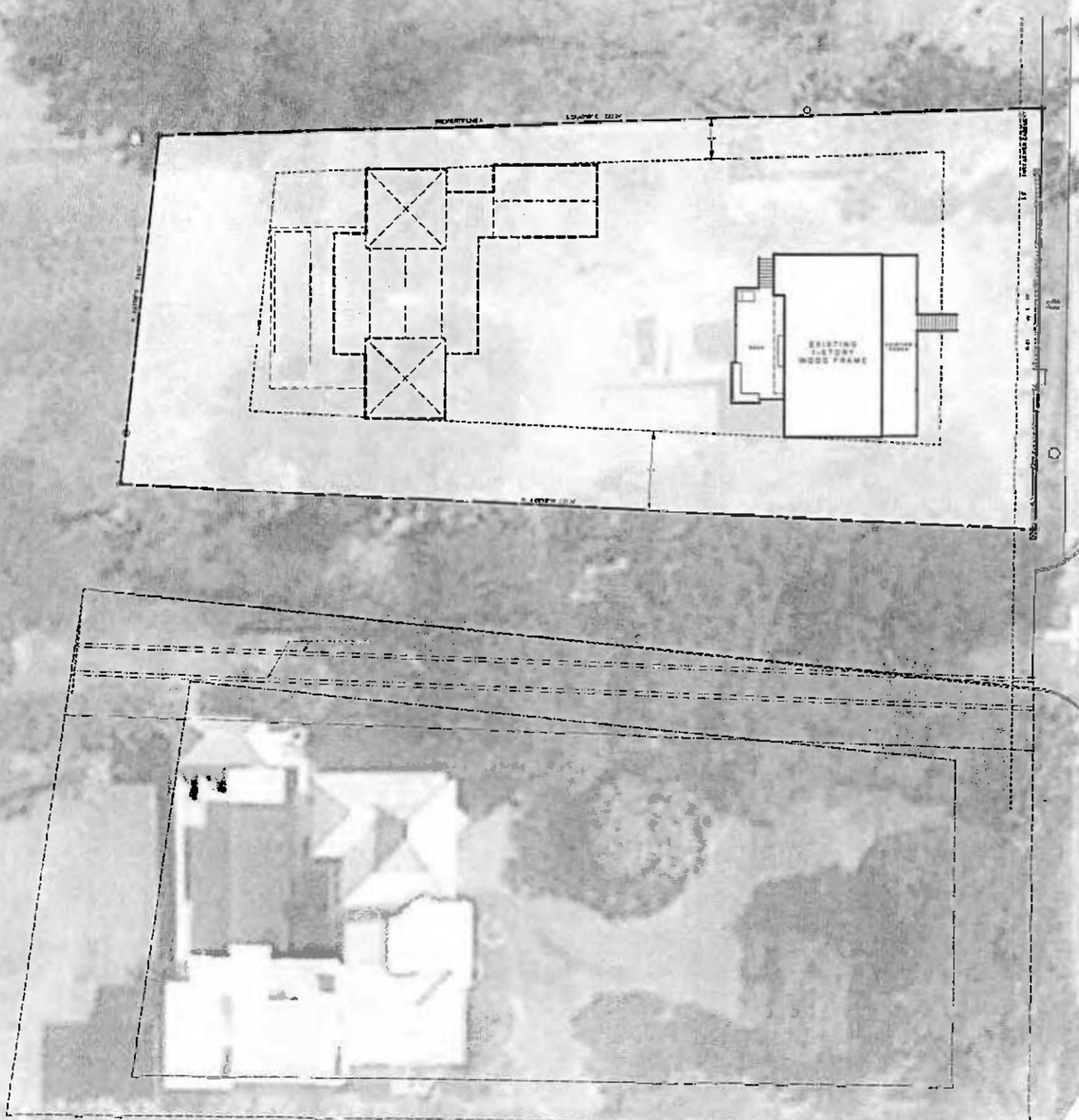


SITE INFORMATION INCLUDING SITE BOUNDARIES,
SPOT ELEVATIONS, AND LOCATIONS OF
NEIGHBORING HOUSES BASED ON A SURVEY
PROVIDED BY PEABODY & ASSOCIATES, INC
DATED APRIL 14, 2010 (REVISION)

B E A U
C L O W N E Y
architects
8 4 1 7 2 2 . 2 0 4 0

BIASCOECHEA COTTAGE
2850 JASPER BLVD
SULLIVAN'S ISLAND, SC
SITE PLAN
1/8" = 1'-0"

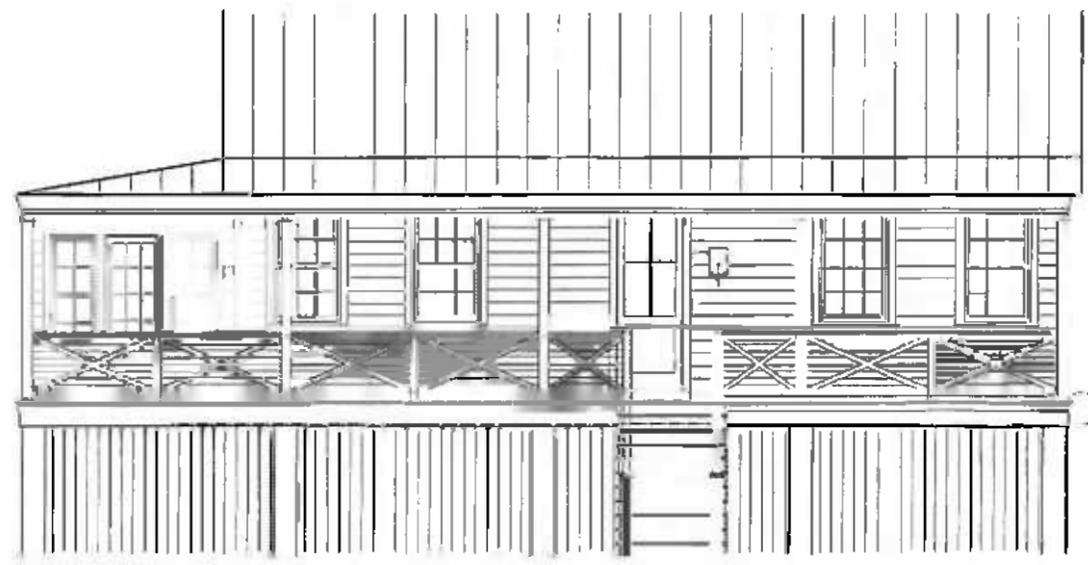
A0.1



B E A U
C W N
architects
2016 22 2010

BIASCOECHEA COTTAGE
2650 JASPER BLVD
SULLIVAN'S ISLAND, SC
SITE PLAN
05 20 16

A 0.1

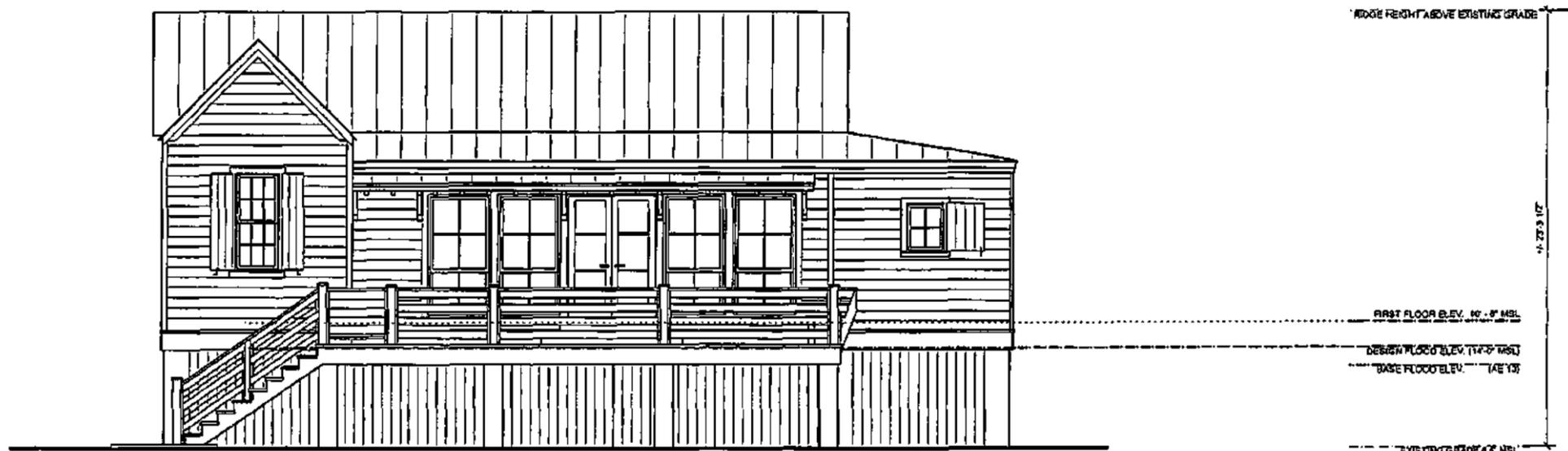


1
 2.1
 PROPOSED STREET ELEVATION
 SCALE 1/8" = 1'-0"

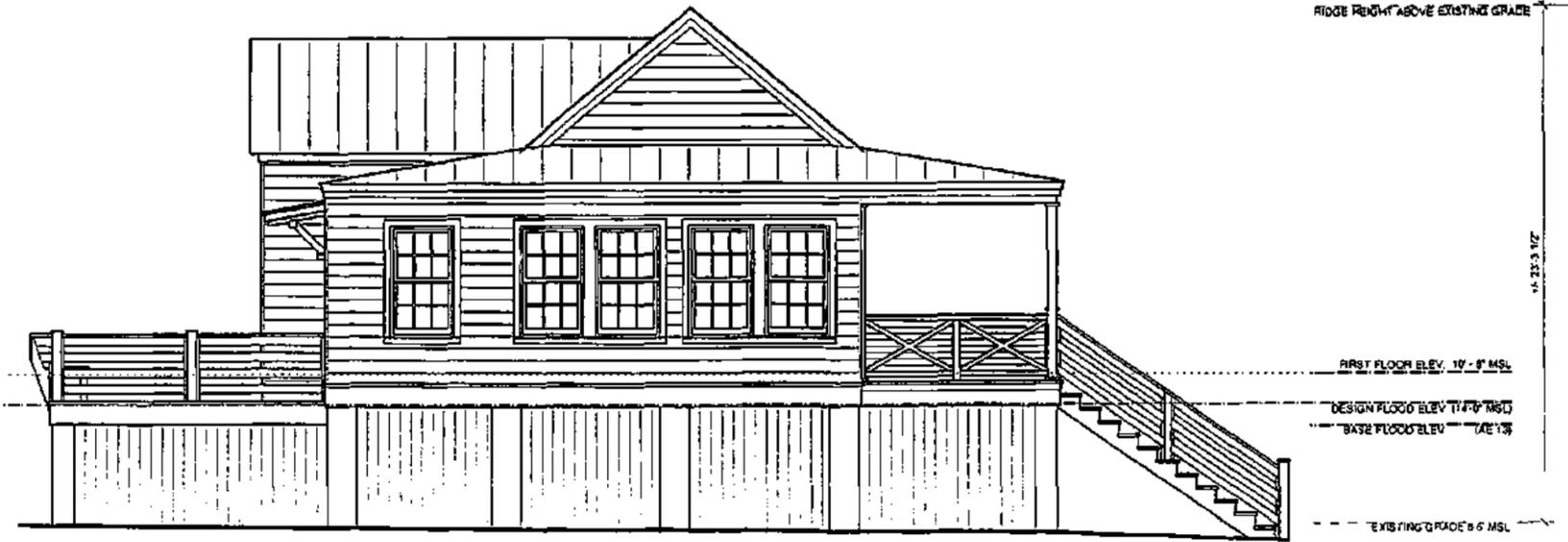


2
 2.1
 PROPOSED EAST ELEVATION
 SCALE 1/8" = 1'-0"

B E A U
 C L O W N E Y
 architects
 8 3 3 7 2 7 7 0 5 0
 BIASCOECHEA COTTAGE
 2550 JASPER BLVD.
 SULLIVAN'S ISLAND
 ELEVATIONS
 114" x 11'-0"
 05.20.18



1
 22 PROPOSED NORTH ELEVATION
 SCALE 1/8" = 1'-0"



2
 22 PROPOSED WEST ELEVATION
 SCALE 1/8" = 1'-0"

B E A U
 C L O W N E Y
 architects
 343 722 2040
 BIASCOECHEA COTTAGE
 2850 JASPER BLVD
 SULLIVAN'S ISLAND
 ELEVATIONS
 1/4" = 1'-0"
 05.20.16

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 863-3198

(FORM A)

Project Address: <u>2662</u>		
Submittal Date: _____		
Meeting Date: _____		
Requested Approval: (check ONE) <input type="checkbox"/> Conceptual <input type="checkbox"/> Preliminary <input checked="" type="checkbox"/> Final		
Check one:		
<input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input checked="" type="checkbox"/> Submittal is <i>within</i> the Historic District and is: _____ designated as Historic Resource _____ not designated as Historic Resource Historic Survey #: _____	<input type="checkbox"/> Submittal is <i>outside</i> the Historic District and is: _____ designated as Historic Resource Historic Survey #: _____
Nature of Work: (circle all that apply)		
Accessory Structure	<u>Demolition</u> / Relocation	Addition / Alteration
New Construction		
Owner's Name: _____	Architect / Designer: _____	
Address: _____	Contact #: _____	
email: _____	email: _____	
Contact #: _____	Contractor: _____	
	Contact #: _____	
	email: _____	
Enter a Brief Description of the Project and Scope of Work to be Performed:		
<u>has been approved by DRB</u>		
I (We) submit that the above information is true to the best of My (Our) knowledge.	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.	Fee Received by _____
Print Applicant's Name: _____	Owner's Signature: _____	check # _____
Applicant Signature: _____		

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

1010 Middle Street • PO Box 427 • Sullivan's Island, SC • 29462 • (843) 863-3160

Project Address: Blvd.

Submittal Date: _____

Meeting Date: 6-15-16

BREAKDOWN OF LOT COVERAGES

Lot Information	
Total Lot Size In Square Feet:	sf
Lot Width:	_____
Lot Depth:	_____
Flood Zone / Base Floor Elevation:	_____

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>1,868</u> 2,000 sf
Accessory Building Footprint:	<u>907</u> sf
Total Principal Bldg. Coverage Area:	<u>2,775</u> 2,907 sf
(Principal Building plus Accessory Structure)	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area:	<u>2,775</u> 2,000 sf
Covered Porches:	<u>1,080</u> sf
Open Decks / Steps:	_____ sf
Pool / Patio:	_____ sf
Drives / Walks:	<u>1,798</u> sf
Other Impervious Coverage:	_____ sf
Total Impervious Coverage	<u>7,494</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor:	_____ sf
Second Floor:	<u>1,600</u> sf
Third Floor:	_____ sf
Accessory Building:	<u>907</u> sf
Total Principal Building Square Footage:	<u>4,375</u> sf
(Principal Building plus Accessory Structure)	

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: Block and stone

Walls: Hardi Siding

Trim: Hardi trim

Roof: Red 5V Roof

Windows: Hardi L.S.P.L

Doors: Hardi

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island SC • 29482 • (843) 883-3168

Project Address: _____

Submittal Date: _____

Meeting Date: _____

	Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRE's Max Authority for Relief	Applicant's Request for Relief in FL/ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Ratio (SF)
SETBACKS	A 21-22 Front Setback	25 feet	✓	15% (3.75')			
	B 21-22 Additional Front Yard Setback	45° above 20'		15%			
	C 21-22 Side Setback	Per lot; Enter Result: _____ min.; _____ comb.		25%			
	D 21-27 Side Setback 2nd Floor Setback	2 feet		100%			
	E 21-22 Rear Setback	25 feet		None			
	F 21-26 Principal Building Coverage	as per formula: Enter Result _____ sf		20% 0.20 sf			
LOT COVERAGE	G 21-26 Impervious Coverage	as per formula: Enter Result _____ sf		25% _____ sf			
	H 21-27 Principal Building Square Footage	as per formula: Enter Result _____ sf		20% _____ sf			
	I 21-28 Three Story	as per formula: Enter Result _____ s	✓	20% 0.20 sf			
DESIGN STANDARDS	J 21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K 21-28 Principal Building Side Façade	as per formula: Enter Result _____ sf		100%			
	L 21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M 21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N 21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
O 21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility				

SEC. 21-43 B. REQUEST FOR HISTORIC EXEMPTIONS (FORM C.1)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island SC • 29482 • (843) 883-3198

Project Address: /

Submittal Date:

Meeting Date: /

HISTORIC EXEMPTIONS

	1	2	3	4	5	
	Zoning Ordinance Reference Section	Total Area of Existing Structures (sf)	DRB Authority for Exemption	Applicant's Request for Relief in Ft./Sq. Ft.	Percent (%) Relief Requested	NOTES
B	21-43		50% Enter Result:			
	Existing Principle Building Square Footage		sf			
	21-43		50% Enter Result:			
	Existing Principle Building Coverage Area		sf			
C	21-43		50% Enter Result:			
	Existing Impervious Coverage Area		sf			



1
A2 EXISTING REAR ELEVATION



2
A2 EXISTING FRONT ELEVATION



1
A2 EXISTING LEFT SIDE ELEVATION

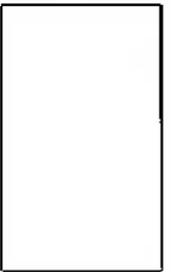


2
A2 EXISTING RIGHT SIDE ELEVATION

291
Studio
2 9 1
L L C

291 Design Firm, Inc. 2019
Chapel Hill, North Carolina 27517
Tel: 919.968.2911

The drawings and the design work are the property of Studio 291, LLC. The drawings are to be used only for the project and site specified. No other use, reproduction, or distribution is permitted without the written consent of Studio 291, LLC.



Project: Demolition @ 2662 Jasper Blvd., Sullivan's Island, South Carolina
Sheet Title: EXISTING ELEVATIONS

Prepared by	D. P. W. Chang
Checked by	J. B. Caplan
Drawn by	J. B. Caplan
Date Drawn	1/15/2020
Approved for Printing	D. P. W. Chang
Issued for Permit	D. P. W. Chang
Revisions	
1	01/15/2020
2	01/15/2020
3	01/15/2020
4	01/15/2020
5	01/15/2020
6	01/15/2020
Issue Date	01/15/2020

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 1738 MIDDLE STREET

Submittal Date: 5/20/16

Meeting Date: 6/18/16

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request 1 for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: <u>10</u> min.; <u>32</u> comb.		25%	<u>8'</u>	<u>25%</u>	
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>2184</u> sf	✓	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>4335</u> sf		20% 25% <u>1083</u> sf			
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>3334</u> sf	✓	25% _____ sf			
	I	21-28 Third Story	as per formula: Enter Result _____ sf		15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 1738 MIDDLE STREET

Submittal Date: 5/20/16

Meeting Date: 6/15/16

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet: 14,393 sf
 Lot Width: 84'
 Lot Depth: 199'
 Flood Zone / Base Flood Elevation: AE 14

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint: 2,092 sf
 Accessory Building Footprint: _____ sf
 Total Principal Bldg. Coverage Area: 2,092 sf
 (Principal Building plus Accessory Structure)

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area: 1,211 / 2,092 sf
 Covered Porches: 345 / 659 sf
 Open Decks / Steps: 43 / 43 sf
 Pool / Patio: 1172 sf
 Drives / Walks: 275 / 198 sf
 Other Impervious Coverage: 1,329 sf
 Total Impervious Coverage: 1,924 / 5,418 sf

Sec. 21-27 Principal Building Square Footage

First Floor: 1,211 / 2,092 sf
 Second Floor: 880 / 1,037 sf
 Third Floor: _____ sf
 Accessory Building: _____ sf
 Total Principal Building Square Footage: 2,109 / 3,129 sf
 (Principal Building plus Accessory Structure)

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: EXISTING BRICK / CMU STUCCO FINISH Roof: STANDING SEAM METAL
 Walls: RESTORED EXISTING WD / NEW CEDAR TO MATCH Windows: EXISTING / CLAD WD / STAIR
 Trim: RESTORED EXISTING / PAINTED WD Doors: WOOD

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.

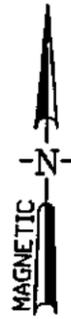
(check all that apply) Narrative attached Will discuss at presentation Not Applicable



THOMPSON AVE R/W VARIES

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	BEARING
C1	80.23	932.00	3°42'09"	80.22	N77°02'34"E
C2	84.21	1085.25	4°28'46"	84.18	N77°37'35"E

DATUM NGVD 29



NOTES & REFERENCES:

1. REFERENCE PLAT BY PAUL C. LAWSON, JR. RECORDED IN THE CHARLESTON CO. R.M.C. OFFICE IN PLAT BOOK CM AT PAGE 18.
2. THIS SURVEY DOES NOT REFLECT A TITLE SEARCH AND IS BASED ENTIRELY ON THE ABOVE REFERENCED DOCUMENT(S). ANY EASEMENTS OR ENCUMBRANCES OF RECORD NOT SHOWN ON THE REFERENCE PLAT MAY NOT BE SHOWN ON THIS SURVEY.
3. CERTIFICATION IS TO THE PARTY/PARTIES FOR WHOM THIS SURVEY WAS PREPARED AND IS NOT TRANSFERABLE TO ANY OTHER INSTITUTIONS OR INDIVIDUALS.
4. ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 45019C0538J DATED 11/17/2004, THIS PROPERTY APPEARS TO LIE IN FLOOD ZONE AE (14'). PLEASE CONFIRM WITH COUNTY OFFICIALS PRIOR TO DESIGN/CONSTRUCTION.

GENERAL PROP. SURVEY
LOT 5

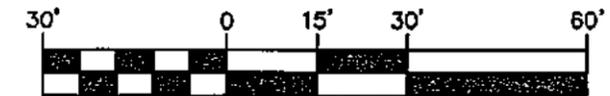
FORT MOULTRIE
TMS 523-08-00-044
1738 MIDDLE STREET
SULLIVANS ISLAND
CHARLESTON COUNTY, SC

PREPARED FOR

DONIVON GLASSBURN

DATE: SEPTEMBER 3, 2015 SCALE: 1" = 30'

GRAPHIC SCALE



(IN FEET)

1 inch = 30 ft.

ATLANTIC SURVEYING, INC.

1058 GARDNER ROAD

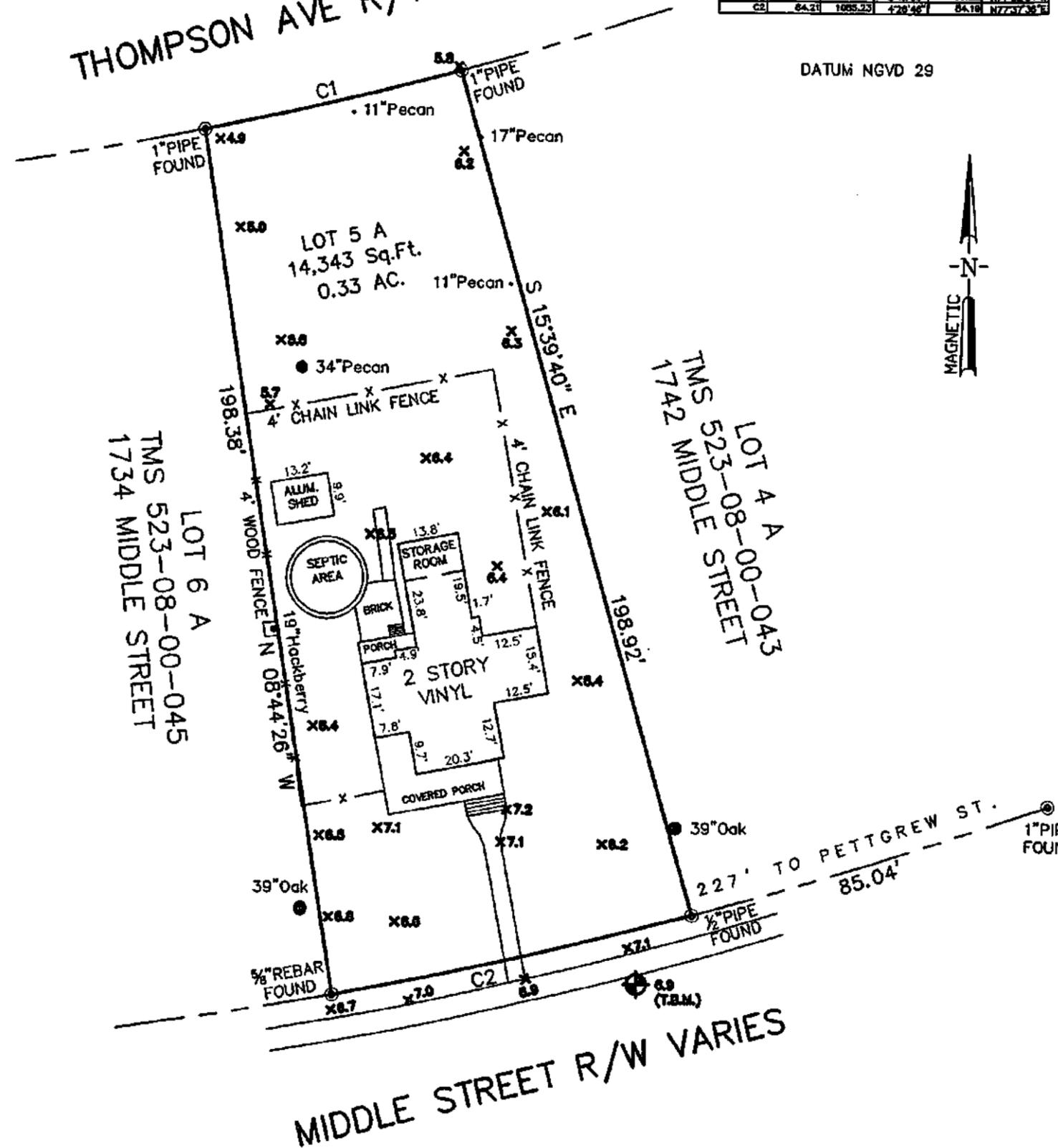
P.O. BOX 30604

CHARLESTON, SOUTH CAROLINA 29417

PHONE (843)763-6669 FAX (843)766-7411



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



MIDDLE STREET R/W VARIES

LOT 6 A
TMS 523-08-00-045
1734 MIDDLE STREET

LOT 4 A
TMS 523-08-00-043
1742 MIDDLE STREET

LOT 5 A
14,343 Sq.Ft.
0.33 AC.



1 FRONT ELEVATION



2 SIDE ELEVATION (EAST)

B E A U
C L O W N E Y
architects
843.722.2040

GLASSBURN RESIDENCE
1738 MIDDLE STREET
SULLIVAN'S ISLAND, SC
EXISTING ELEVATIONS
1/8"=1'-0"
02.19.18

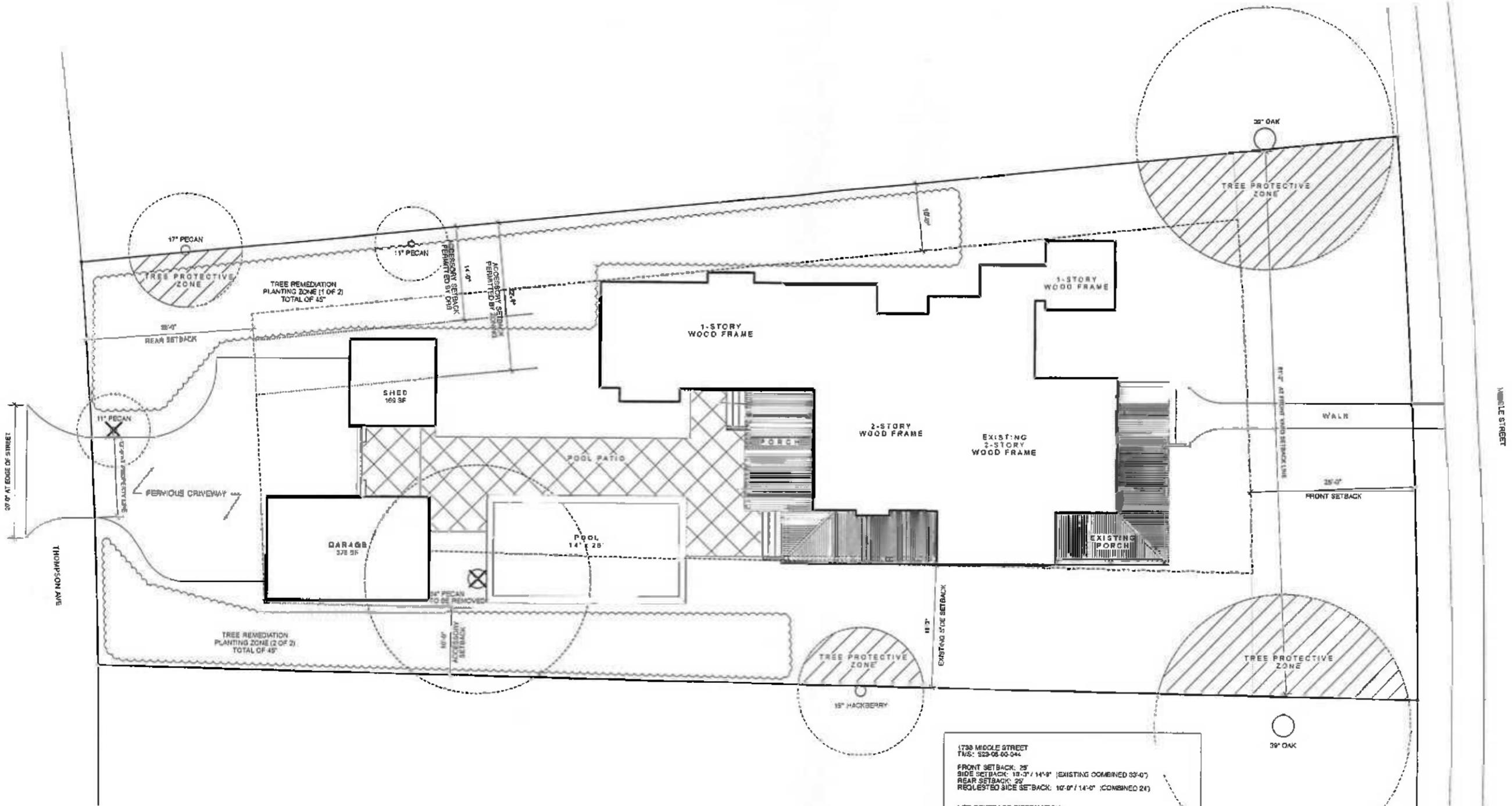


1 REAR ELEVATION (NORTH)



2 SIDE ELEVATION (WEST)

B E A U
C L O W N E Y
architects
843.722.2040
GLASSBURN RESIDENCE
1738 MIDDLE STREET
SULLIVAN'S ISLAND, SC
EXISTING ELEVATIONS
1/8"=1'-0"
02.19.18



1738 MIDDLE STREET
 TMS: S23-05-00-044

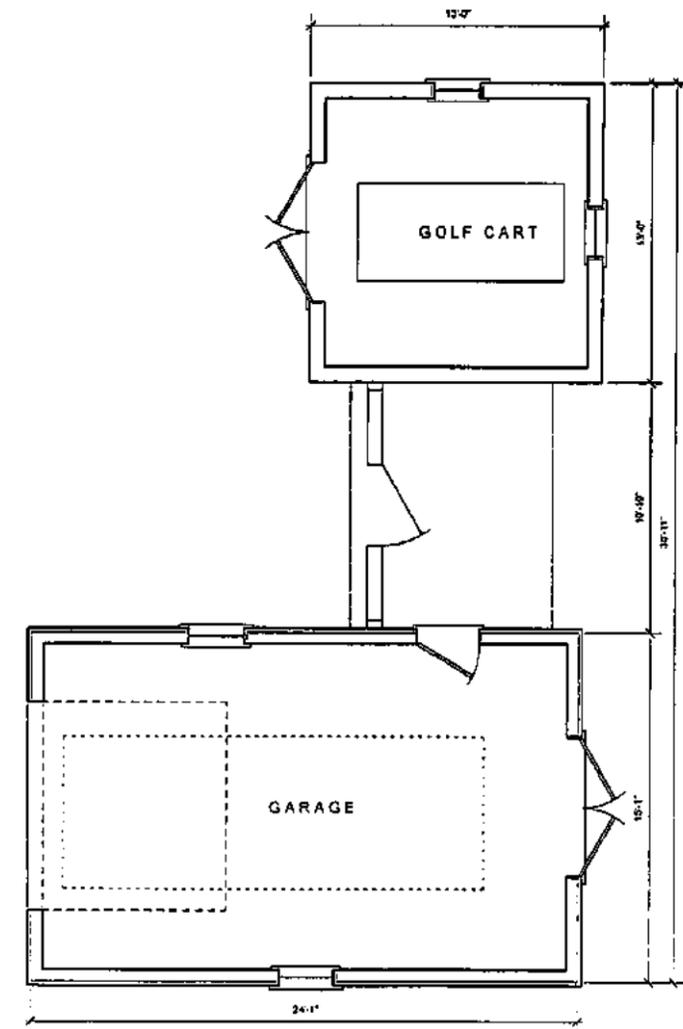
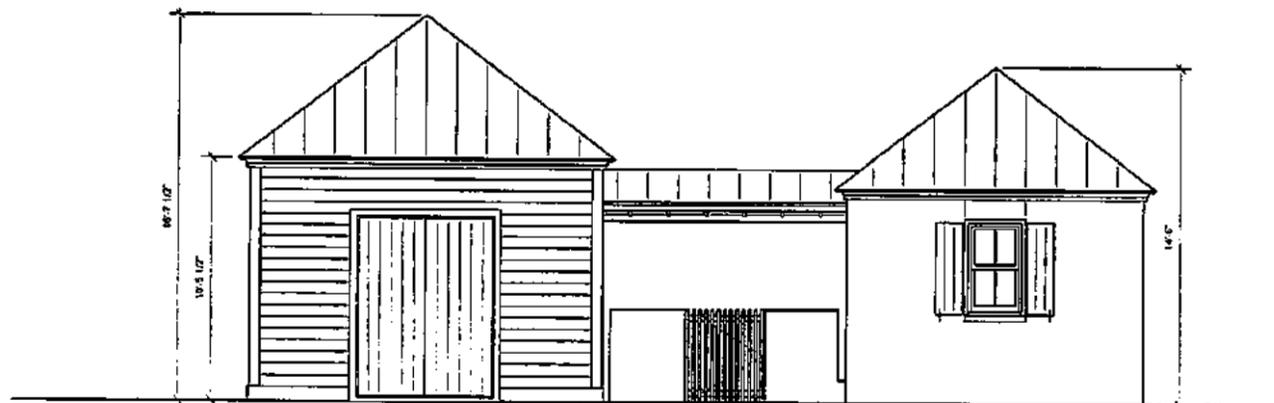
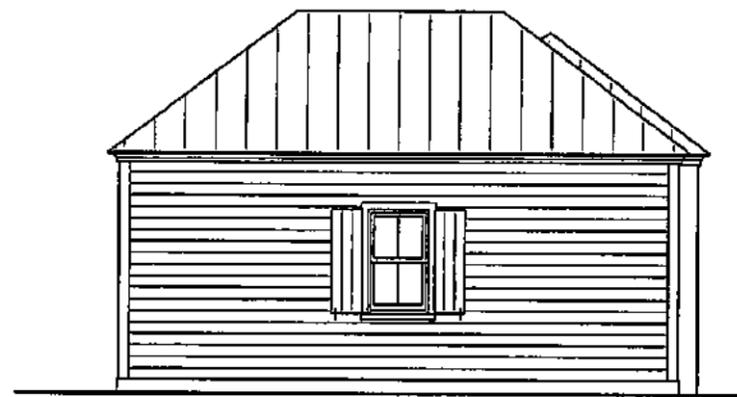
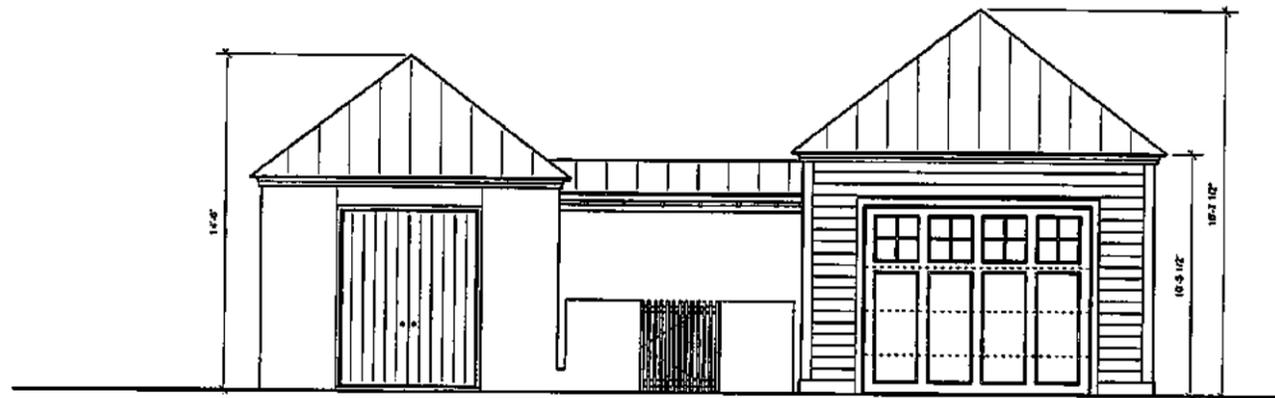
FRONT SETBACK: 25'
 SIDE SETBACK: 10'-0" / 14'-0" (EXISTING COMBINED 33'-0")
 REAR SETBACK: 25'
 REQUESTED SIDE SETBACK: 10'-0" / 14'-0" (COMBINED 24")

LOT COVERAGE INFORMATION:

LOT INFORMATION	
TOTAL LOT SIZE:	14,343 SF
LOT WIDTH:	31.58'
LOT DEPTH:	188.52'
FLOOD ZONE / BASE FLOOD ELEVATION:	AE 14.0'
SEC. 21-25 PRINCIPAL BUILDING COVERAGE AREA:	
PRINCIPAL BUILDING FOOTPRINT:	2,092 SF
ACCESSORY BUILDING FOOTPRINT:	NA
TOTAL PRINCIPAL BLDG. COVERAGE AREA:	2,092 SF
PRINCIPAL BLDG. COVERAGE (ALLOWED BY ZONING): 2,184.3 SF	
SEC. 21-26 IMPERVIOUS COVERAGE:	
PRINCIPAL BUILDING COVERAGE AREA:	2,092 SF
COVERED PORCHES:	858 SF
OPEN DECKS / STEPS:	43 SF
POOL / PATIO:	1,172 SF
DRIVES / WALKS:	198 SF
OTHER IMPERVIOUS COVERAGE:	1,254 SF
TOTAL IMPERVIOUS COVERAGE:	5,414 SF
IMPERVIOUS COVERAGE (ALLOWED BY ZONING): 4,335.75 SF	
SEC. 21-27 PRINCIPAL BUILDING SQUARE FOOTAGE:	
FIRST FLOOR:	2,092 SF
SECOND FLOOR:	1,037 SF
THIRD FLOOR:	NA
ACCESSORY BUILDINGS:	NA
TOTAL PRINCIPAL BLDG. SQ. FOOTAGE:	3,129 SF
PRINCIPAL BLDG. SQ. FOOTAGE (ALLOWED BY ZONING): 3,334 SF	



BEAUCLOWNEY
 architects
 843-722-2010
 GLASSBORO RESIDENCE
 1738 MIDDLE STREET
 SULLIVAN'S ISLAND, SC
 SITE PLAN
 1/18" = 1' 0"
 05.19.18



B E A U
 C L O W N E Y
architects
 811.722.2010
 GLASSBURN RESIDENCE
 1738 MIDDLE STREET
 SULLIVAN'S ISLAND, SC
 GARAGE
 1/4" = 1'-0"
 05.20.16

HEIGHT RESTRICTION 36' FROM EXISTING GRADE



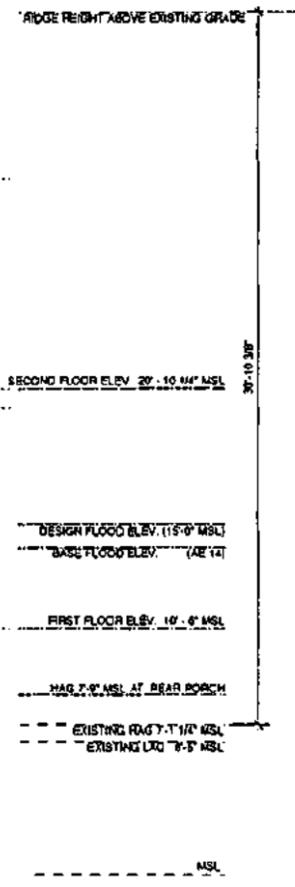
B E A U
C L O W N E Y
architects
333 722 2040
GLASSBURN RESIDENCE
1738 MIDDLE STREET
SULLIVAN'S ISLAND, SC
SOUTH ELEVATION
114'-11"-0"
05.19.18

HEIGHT RESTRICTION 38' FROM EXISTING GRADE



B E A U
C L O W N E Y
architects
843-722-2040
GLASSBURN RESIDENCE
1738 MIDDLE STREET
SULLIVAN'S ISLAND, SC
WEST ELEVATION
174"x1'-0"
05.19.18

HEIGHT RESTRICTIONS FROM EXISTING GRADE



(don't include until revision issued)
REVISED 00.00.00

**B E A U
 C L O W N E Y**
architects
 843.722.2040
 GLASSBURN RESIDENCE
 1738 MIDDLE STREET
 SULLIVAN'S ISLAND, SC
 NORTH ELEVATION
 1/4" = 1'-0"
 05.19.16

HEIGHT RESTRICTION 36' FROM EXISTING GRADE



----- MSL

B E A U
 C L O W N E Y
architects
 843.732.2050
 GLASSBURN RESIDENCE
 1738 MIDDLE STREET
 SULLIVAN'S ISLAND, SC
 EAST ELEVATION
 1/4" = 1'-0"
 05.19.16

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

1010 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 563-3156

Project Address: 2824
 Submittal Date: May 20, 2016
 Meeting Date: June 15, 2016

BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet	<u>22,976.417</u> sf
Lot Width:	<u>114.54</u>
Lot Depth:	<u>210.40</u>
Flood Zone / Base Flood Elevation:	<u>AE 14 15</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint	<u>2410</u> sf
Accessory Building Footprint	<u> </u> sf
Total Principal Bldg. Coverage Area:	<u>2410.</u> sf
(Principal Building plus Accessory Structure)	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>2410</u> sf
Covered Porches:	<u>568</u> sf
Open Decks / Steps:	<u>207</u> sf
Pool / Patio:	<u> </u> sf
Drives / Walks:	<u> </u> sf
Other Impervious Coverage	<u> </u> sf
Total Impervious Coverage	<u>3185</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>2410</u> sf
Second Floor	<u> </u> sf
Third Floor	<u> </u> sf
Accessory Building	<u> </u> sf
Total Principal Building Square Footage:	<u>2410</u> sf
(Principal Building plus Accessory Structure)	

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: <u>CONCRETE</u>	Roof: <u>METAL</u>
Walls: <u>WOOD</u>	Windows: <u>WOOD FRD. INSUL.</u>
Trim: <u>WOOD</u>	Doors: <u>FIBERGLASS</u>

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island SC • 29482 • (843) 883-3198

Project Address:

2824 ION AVE

Submittal Date:

MAY 20, 2016

Meeting Date:

JUNE 15, 2016

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Ratio (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: _____ min.: _____ comb.	✓	25%			
	D	21-27 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>2410</u> sf	✓	20%	_____ sf		
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>2410</u> sf	✓	25%	_____ sf		
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>2410</u> sf	✓	20%	_____ sf		
	I	21-28 Third Story	as per formula: Enter Result _____ sf	✓	20%	_____ sf		
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

CONCEPTUAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29462 • (843) 883-3198

Project Address: 2824 FOW BLVD

Submittal Date: May 20, 2016

Meeting Date: June 15, 2016

Requested Approval: Conceptual Preliminary Final

Conceptual Review:

As soon as the Owner and/or Design Professional are able to identify design objectives, Conceptual plans should be submitted to the Design Review Board for review and comment. Please submit all items as requested. Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.

The following items shall be included in the Conceptual Submittal:

- Application fee (checks payable to Sullivan's Island Design Review Board)
- Completed Application to Sullivan's Island Review Board form (FORM A)
- Completed Sullivan's Island DRB Request for Review form (FORM B)
- Completed Zoning Standards Compliance Worksheet (FORM C)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" scale] Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior Dimensions
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically depicted landscape.
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Optional:
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

ELEVATION CERTIFICATE

Important: Read the instructions on pages 1-9.

OMB No. 1660-0008
 Expiration Date: July 31, 2015

SECTION A - PROPERTY INFORMATION

A1. Building Owner's Name Catherine M. Curtis		FOR INSURANCE COMPANY USE
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2824 I'On Avenue		Policy Number:
City Sullivans Island	State SC	Company NAIC Number:
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Lot 199 E, TMS# 529-11-0-017		
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>		
A5. Latitude/Longitude: Lat. <u>32 46 102</u> Long. <u>079 48 322</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983		
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.		
A7. Building Diagram Number <u>6</u>		
A8. For a building with a crawlspace or enclosure(s):		A9. For a building with an attached garage:
a) Square footage of crawlspace or enclosure(s) <u>686</u> sq ft		a) Square footage of attached garage <u>N/A</u> sq ft
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>0</u>		b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>
c) Total net area of flood openings in A8.b <u>0</u> sq in		c) Total net area of flood openings in A9.b <u>N/A</u> sq in
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No		d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No

SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION

B1. NFIP Community Name & Community Number Town of Sullivans Island 455418		B2. County Name Charleston County		B3. State South Carolina	
B4. Map/Panel Number 45019C0539	B5. Suffix J	B6. FIRM Index Date 11/17/2004	B7. FIRM Panel Effective/Revised Date 11/17/2004	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use base flood depth) 14 & 15

B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9.
 FIS Profile FIRM Community Determined Other/Source: _____

B11. Indicate elevation datum used for BFE in Item B9: NGVD 1929 NAVD 1988 Other/Source: _____

B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? Yes No
 Designation Date: _____ CBRS OPA

SECTION C - BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
 *A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations - Zones A1-A30, AE, AH, A (with BFE), VE, V1-V30, V (with BFE), AR, AR/A, AR/AE, AR/A1-A30, AR/AH, AR/AO. Complete Items C2.a-h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
 Benchmark Utilized: CJ0603 Vertical Datum: NGVD29
 Indicate elevation datum used for the elevations in items a) through h) below. NGVD 1929 NAVD 1988 Other/Source: _____
 Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

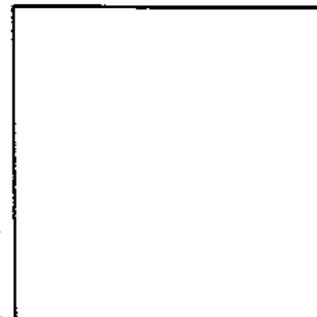
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>7.7</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
b) Top of the next higher floor	<u>15.0</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
d) Attached garage (top of slab)	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>6.8</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)	<u>7.7</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)	<u>8.2</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>N/A</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters

SECTION D - SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Check here if comments are provided on back of form. Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No
 Check here if attachments.

Certifier's Name James T. Reid	License Number 17228
Title Land Surveyor	Company Name Reid Surveying, LLC
Address PO Box 20182	City Charleston State SC ZIP Code 29413
Signature	Date 3/23/2016 Telephone (843) 367-1412



IMPORTANT: In these spaces, copy the corresponding information from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2824 l'On Avenue	Policy Number:
City Sullivans Island State SC ZIP Code 29482	Company NAIC Number:

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION (CONTINUED)

Copy both sides of this Elevation Certificate for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments Sump pump is lowest equipment servicing the building at elevation 6.8' (elevation at top of pump). Washing/Dryer is next lowest at elevation 8.1' and hot water heater is at elevation 8.7'.

Signature _____

Date 3/23/2016

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMF-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
 - a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
 - b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 8–9 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner's or Owner's Authorized Representative's Name _____

Address _____	City _____	State _____	ZIP Code _____
Signature _____	Date _____	Telephone _____	

Comments _____

Check here if attachments.

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number _____	G5. Date Permit Issued _____	G6. Date Certificate Of Compliance/Occupancy Issued _____
-------------------------	------------------------------	---

- G7. This permit has been issued for: New Construction Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____
- G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name _____	Title _____
Community Name _____	Telephone _____
Signature _____	Date _____

Comments _____

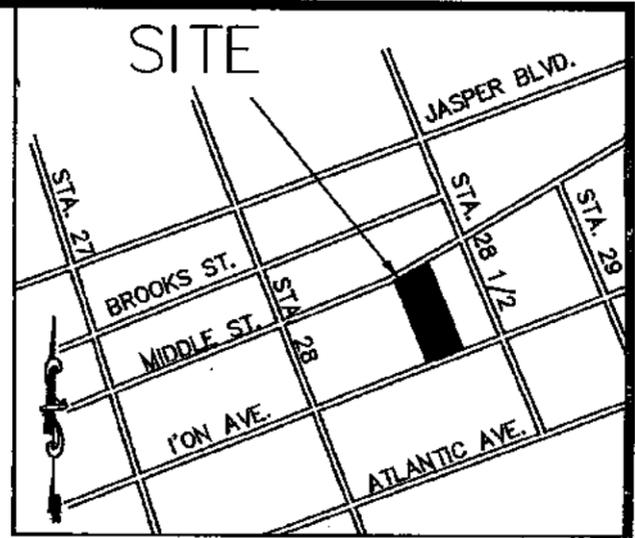
Check here if attachments.

NOTES:

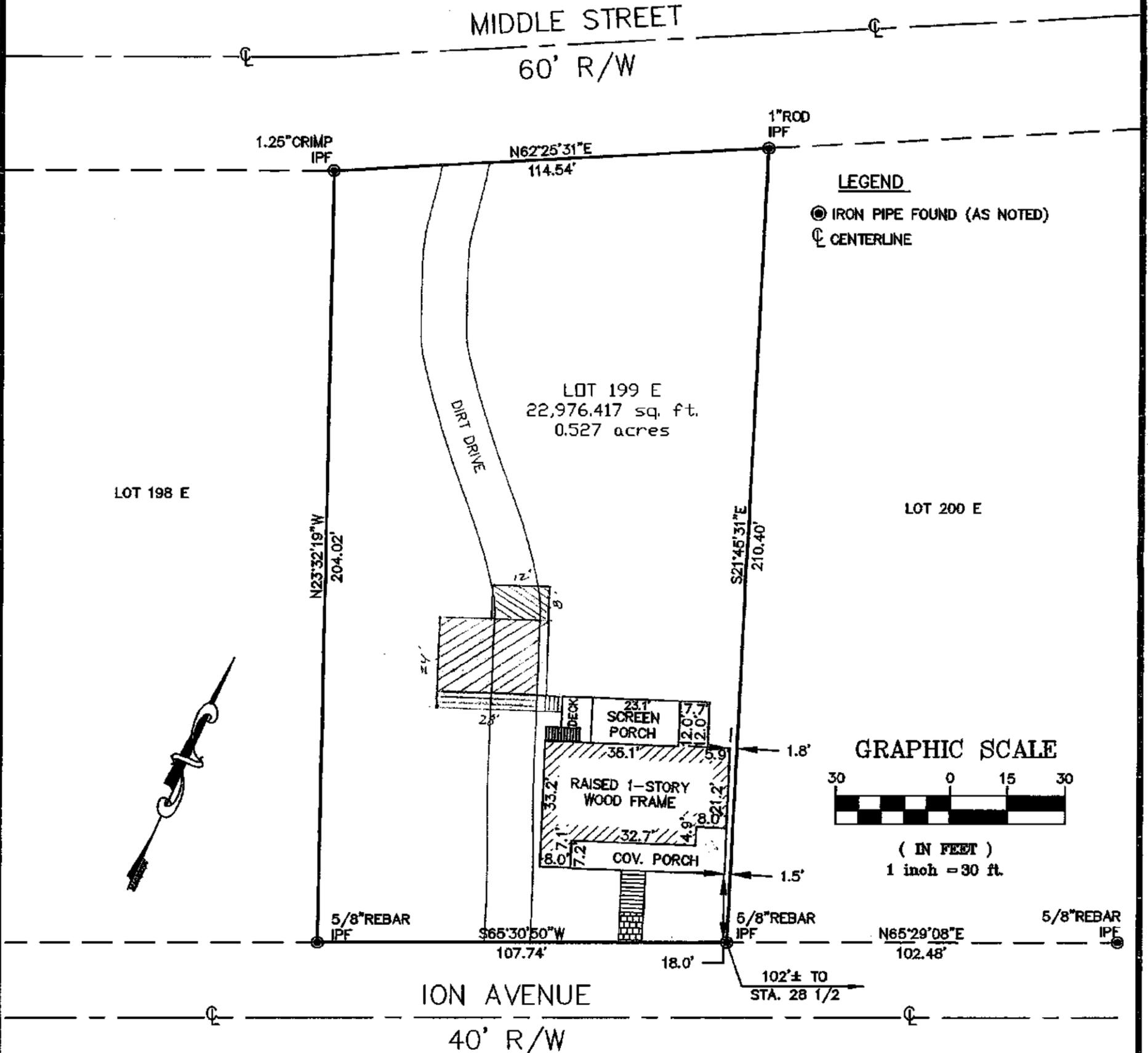
- 1.) BEARINGS SHOWN HEREON ARE MAGNETIC AND AS SUCH ARE SUBJECT TO LOCAL ATTRACTION.
- 2.) THIS PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE "AE" (EL 14 & 15) AS DETERMINED BY SCALING FROM FEMA FIRM PANEL #45019C0539J, DATED NOVEMBER 17, 2004. BEFORE CONSTRUCTION AN APPROPRIATE LOCAL BUILDING OFFICIAL SHOULD VERIFY ZONES.
- 3.) AREA CALCULATED BY THE COORDINATE METHOD.
- 4.) THIS PLAT REPRESENTS A SURVEY BASED ON THE LISTED REFERENCES AND IS NOT THE RESULT OF A TITLE SEARCH.
- 5.) USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL, OR LAND TRANSACTION, OR FILING WITH ANY PUBLIC AGENCY OR OFFICE IS UNAUTHORIZED USE AND IS A VIOLATION OF FEDERAL COPYRIGHT LAWS.

CHARLESTON CO. R.M.C.
REFERENCES:

- 1) TMS# 529-11-00-017
- 2) PLAT BY BEN CHEATHAM
DATED: AUGUST 18, 1961
PLAT BOOK O, PAGE 45



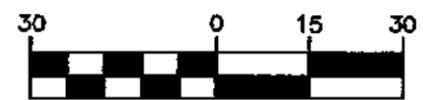
LOCATION MAP (NOT TO SCALE)



LEGEND

- ⊙ IRON PIPE FOUND (AS NOTED)
- ⊕ CENTERLINE

GRAPHIC SCALE



(IN FEET)
1 inch = 30 ft.

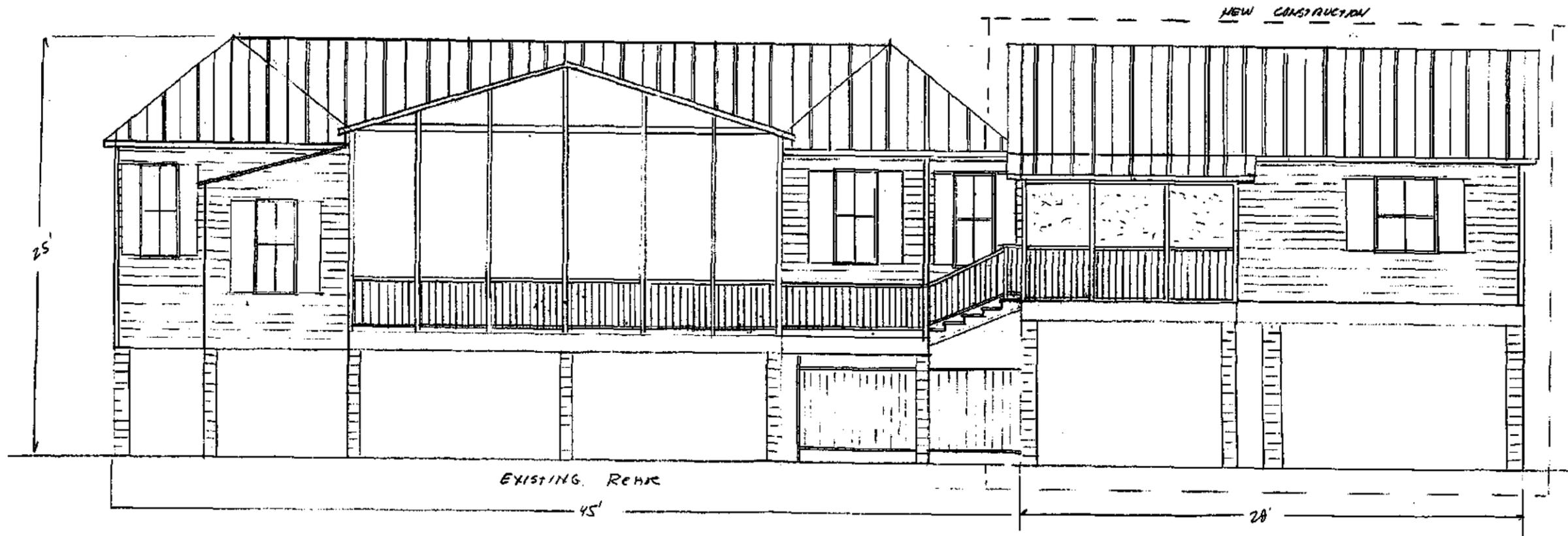
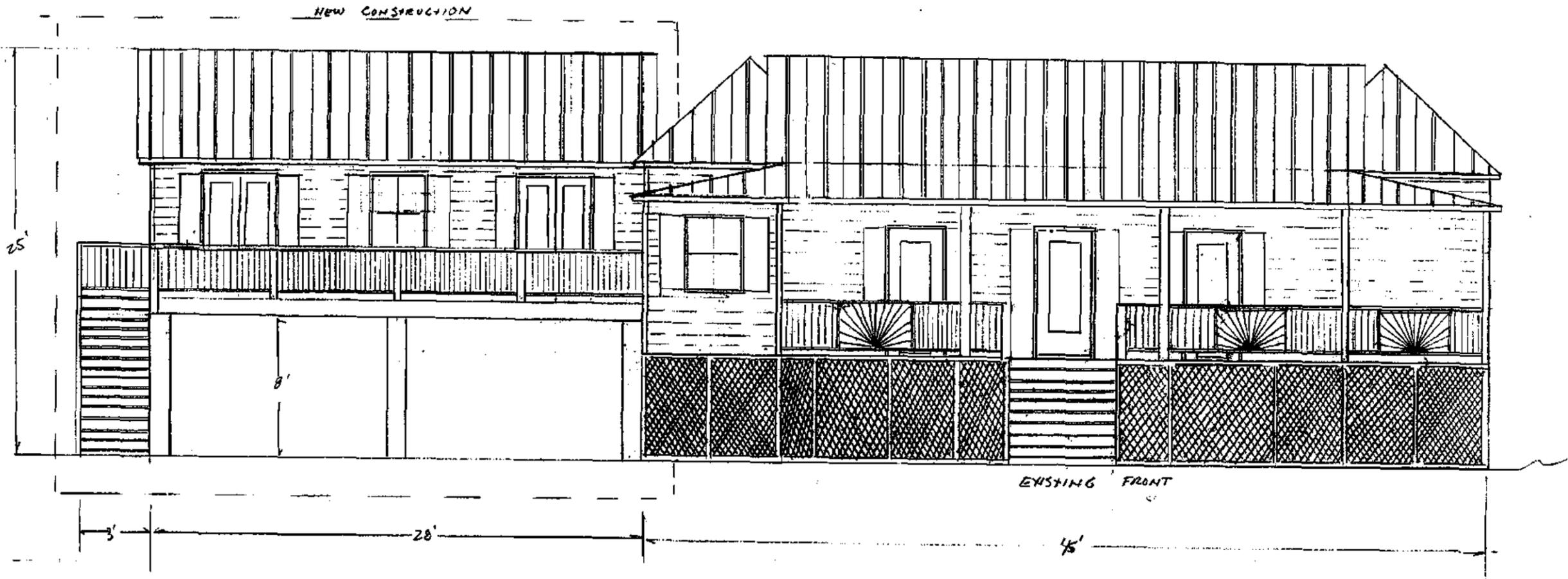
I, HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS OF A CLASS A SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS AFFECTING THE PROPERTY OTHER THAN THOSE SHOWN.

SURVEY OF
2824 ION AVENUE
PREPARED FOR
CATHERINE M. CURTIS
TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY SOUTH CAROLINA
DATE: MARCH 21, 2016 SCALE: 1"=30'

[Signature]
JAMES T. REID P.L.S. S.C. No. 17228

REID SURVEYING, LLC
PO BOX 20182 CHARLESTON, SC 29413
(843) 367-1412 FAX (843) 300-1107







CONCEPTUAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

2650 Jasper Blvd, Sullivan's Island

Submittal Date:

5/20/2016

Meeting Date:

6/15/2016

Requested Approval:



Conceptual



Preliminary



Final

Conceptual Review:

As soon as the Owner and/or Design Professional are able to identify design objectives, Conceptual plans should be submitted to the Design Review Board for review and comment. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.**

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- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
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 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
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 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Optional:
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

Sullivan's Island Design Review Board

last modified January 2016

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2650 Jasper Blvd, Sullivan's Island
 Submittal Date: 5/20/2016
 Meeting Date: 6/15/2016 Parcel I.D. (TMS#): 5290700012

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

Submittal is *outside* the Historic District, not classified historic, and requests DRB relief.

Submittal is *within* the Historic District and is:
 _____ designated as Historic Resource
 _____ not designated as Historic Resource

Submittal is *outside* the Historic District and
X designated as Historic Resource

Historic Survey #: _____ Historic Survey #: 2007.075

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: JAMES WILEY Architect / Designer: Alex Bruno / Butterbean Development Group
 Address: 2650 Jasper Blvd Contact #: 504-782-0197
Sullivan's Is SC email: Alex.Bruno@butterbeandev.com
 email: j.jakewiley@gmail.com Contractor: James Wiley
 Contact #: 404-543-8154 Contact #: 404-543-8154
 email: j.jakewiley@gmail.com

Enter a Brief Description of the Project and Scope of Work to be Performed:
Relocate & demolish existing historic structure. Remove nonhistoric structure & replace with new construction.
Historic structure shall remain with current footprint & structure, to be moved to meet current BFE requirements.

I (We) submit that the above information is true to the best of My (Our) knowledge. <u>JAMES WILEY</u> Print Applicant's Name Applicant Signature	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.	Fee Received by _____ check # _____
	Owner's Signature	

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2650 Jasper Blvd, Sullivan's Island

Submittal Date: 5/20/2016

Meeting Date: 6/15/2016

BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>22,174</u> sf
Lot Width:	<u>105.46</u>
Lot Depth:	<u>211.03</u>
Flood Zone / Base Flood Elevation:	<u>AE 13</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>2594</u> sf
Accessory Building Footprint:	<u>693</u> sf
Total Principal Bldg. Coverage Area: (Principal Building plus Accessory Structure)	<u>3287</u> sf

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>3287</u> sf
Covered Porches:	<u>1046</u> sf
Open Decks / Steps:	_____ sf
Pool / Patio:	_____ sf
Drives / Walks:	_____ sf
Other Impervious Coverage	_____ sf
Total Impervious Coverage	<u>4,333</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>2594</u> sf
Second Floor	<u>1430</u> sf
Third Floor	_____ sf
Accessory Building	<u>693</u> sf
Total Principal Building Square Footage: (Principal Building plus Accessory Structure)	<u>4717</u> sf

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: Raised Block

Walls: Hardi

Trim: Hardi

Roof: Metal

Windows: Wood Clad

Doors: Wood

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable (no relief req.)

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

Submittal Date:

Meeting Date:

2650 Jasper Blvd, Sullivan's Island
5/20/2016
6/15/2016

	Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in FL/ Sq. FL	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')		
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%		
	C	21-22 Side Setback	Per lot; Enter Result: <u>10</u> min.; <u>40</u> comb.	✓	25%		
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%		
	E	21-22 Rear Setback	25 feet	✓	None		
LOT COVERAGE	F	21-26 Principal Building Coverage	as per formula: Enter Result <u>3326</u> sf	✓	20% _____ sf	<u>0%</u>	<u>3,287</u>
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>30%</u> sf maximum	✓	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4117</u> sf		25% <u>1029</u> sf	<u>600</u>	<u>14.5%</u> <u>4,717</u>
	I	21-28 Third Story	as per formula: Enter Result <u>N/A</u> sf	<u>N/A</u>	15% _____ sf		
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%		
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%		
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility		
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot		
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility		
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility		

TO LOCAL ATTRACTION. ANYTHING SHOWN OUTSIDE THE PRESCRIBED BOUNDARIES OR THIS SURVEY IS FOR DESCRIPTIVE PURPOSES ONLY

© DRAWING COPYRIGHT PROTECTED AND IS NOT A LEGAL COPY UNLESS SEALED WITH RAISED IMPRESSION SEAL

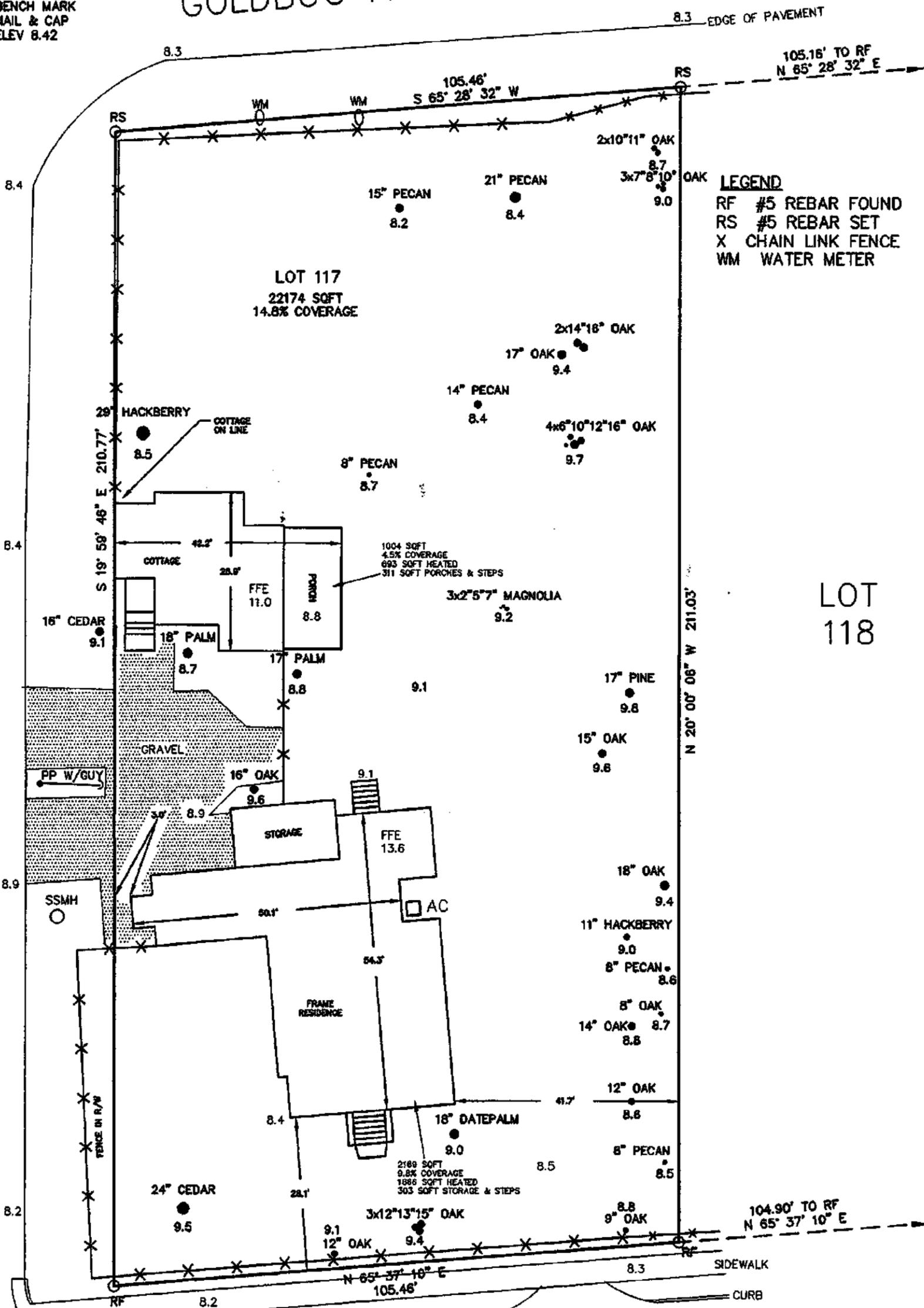
GOLDBUG AVENUE 40' R/W

BENCH MARK
NAIL & CAP
ELEV 8.42



THIS SURVEY IS BASED ON THE REFERENCES SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH. THE BEARINGS SHOWN ARE MAGNETIC (UNLESS STATED OTHERWISE) AND ARE SUBJECT

STATION 26 1/2 40' R/W



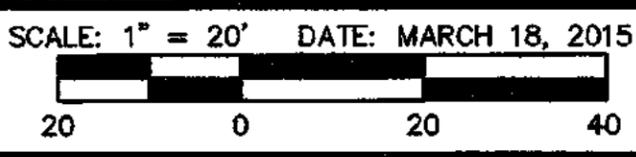
LEGEND
RF #5 REBAR FOUND
RS #5 REBAR SET
X CHAIN LINK FENCE
WM WATER METER

LOT 118

- NOTES**
- 1) REFERENCE PLAT BOOK D PAGE 184
 - 2) TMS # 529-07-00-012
 - 3) REQUESTED BY:
BRENNAN & GABRIELLE EGAN

JASPER BOULEVARD 100' R/W

SUBJECT PROPERTY LOCATED IN FLOOD ZONE AE ELEV 13 FIRM PANEL 45019C-0539-J DATED NOV. 17, 2004



JOHN E. WADE JR., RLS
PO BOX 686
ISLE OF PALMS
SOUTH CAROLINA
29451
(843) 886-6262
FILE 183-07A

2650 JASPER BOULEVARD
AKA LOT 117-E
ATLANTICVILLE
LOCATED ON
SULLIVANS ISLAND
CHARLESTON COUNTY
SOUTH CAROLINA



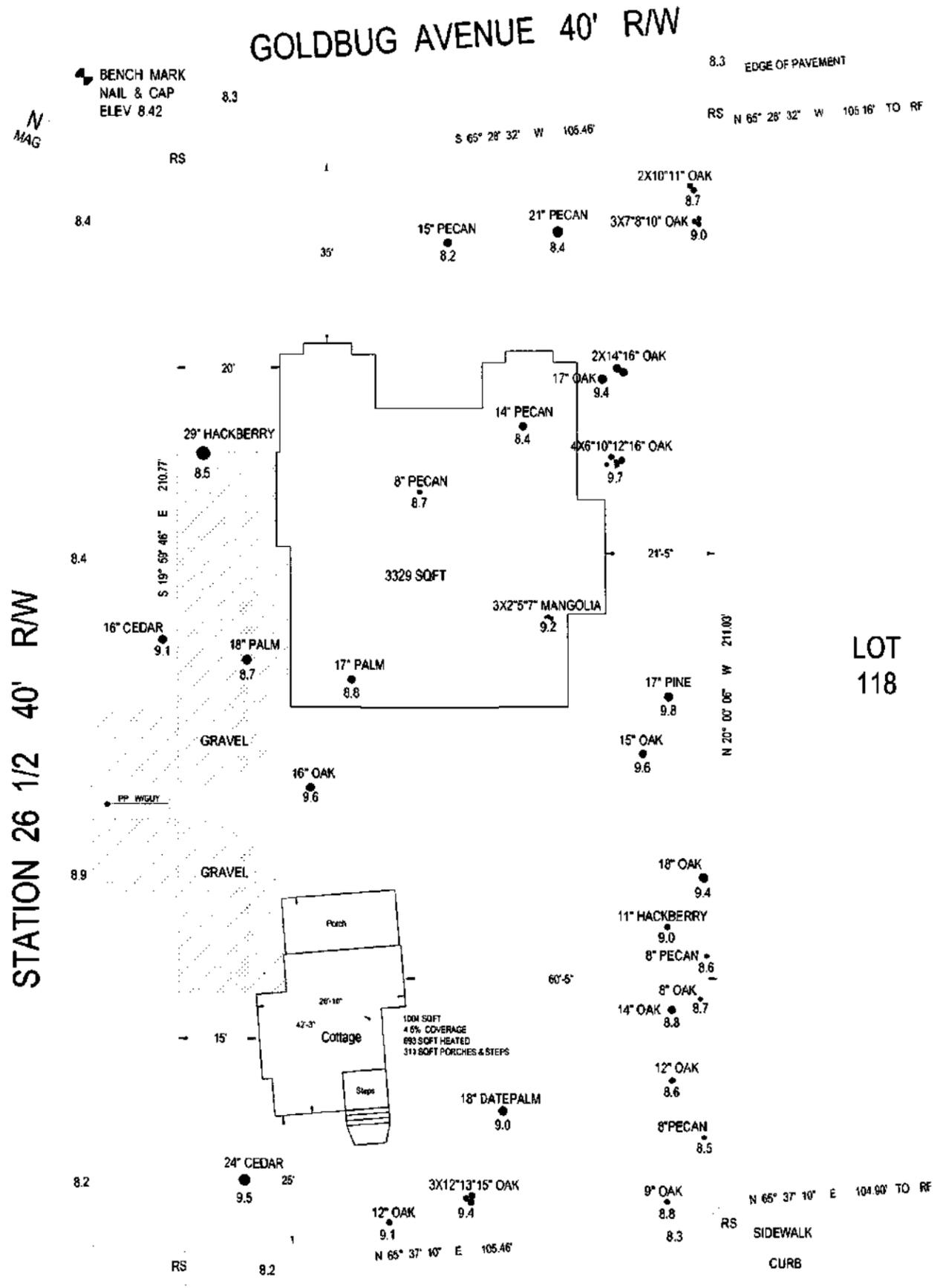
"I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN."

John E. Wade Jr.
JOHN E. WADE JR., RLS.
S.C. REG. NO. 13171

INDEX OF DRAWINGS	
A0	Site Plan
A1	Ground Floor Plan
A2	First Floor Plan
A3	Second Floor Plan
A4	Roof Plan
A5	Front Elevation
A6	Right Elevation
A7	Rear Elevation
A8	Left Elevation

SQUARE FOOTAGE	
LOT	22.174 SQFT
COTTAGE HEATED	693 SQFT
PORCH	311 SQFT
NEW HOUSE	3.329 SQFT

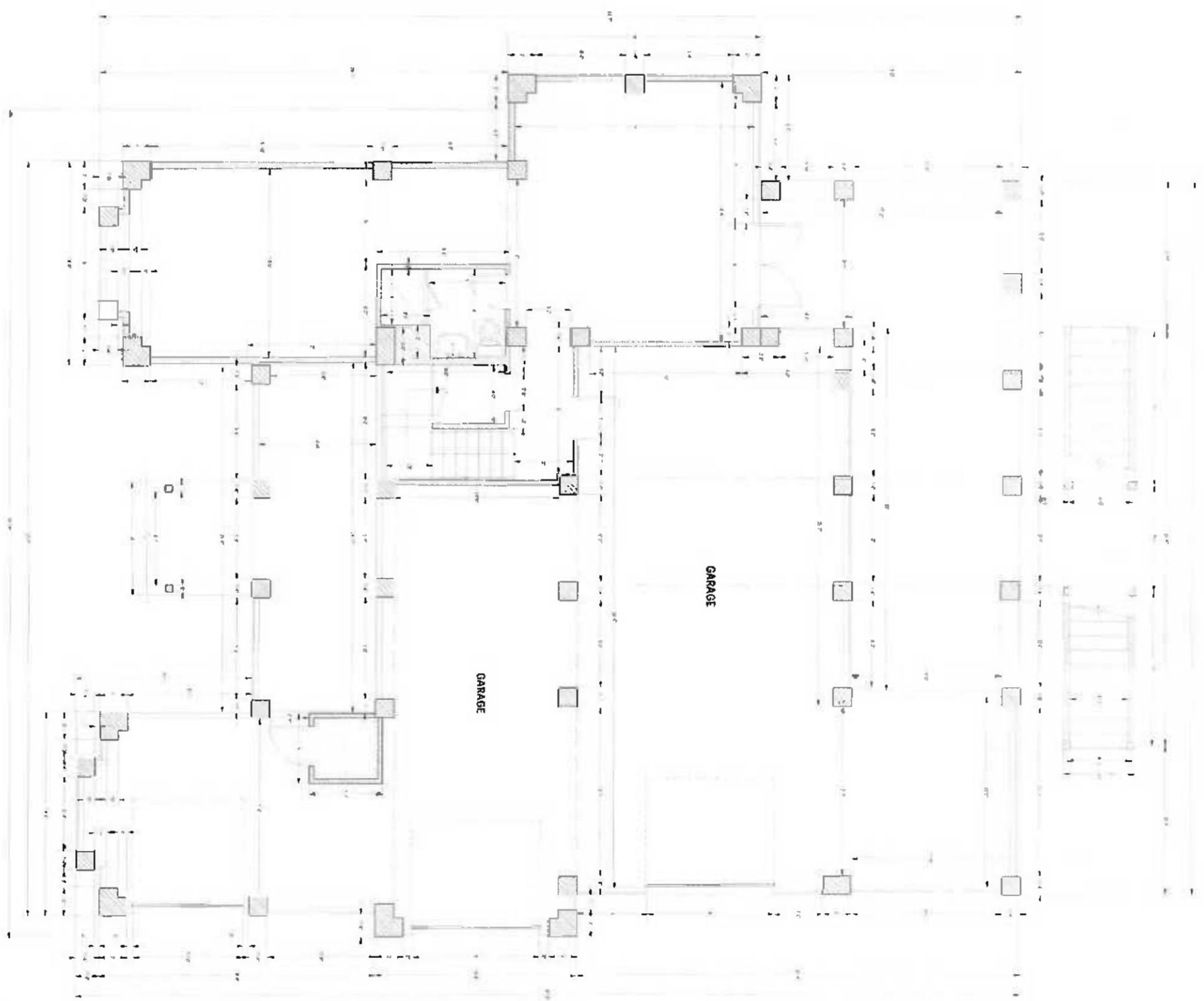
PERVIOUS DRIVEWAY - 2.403 SQFT	
First Floor:	
Entry Porch	- 221 sqft
Heated Area	- 2594 sqft
Covered Porch	- 514 sqft
Second Floor:	
Covered Porch	- 293 sqft
Heated Area	- 1430 sqft
Total Heated	- 4024 sqft



PROJECT NAME
 2650 Jasper Blvd.
 Sullivan's Island, SC.

DATE	5/18/16
SCALE	VARIES
SHEET TITLE	INDEX OF DRAWINGS / SITE PLAN

SHEET
 A0



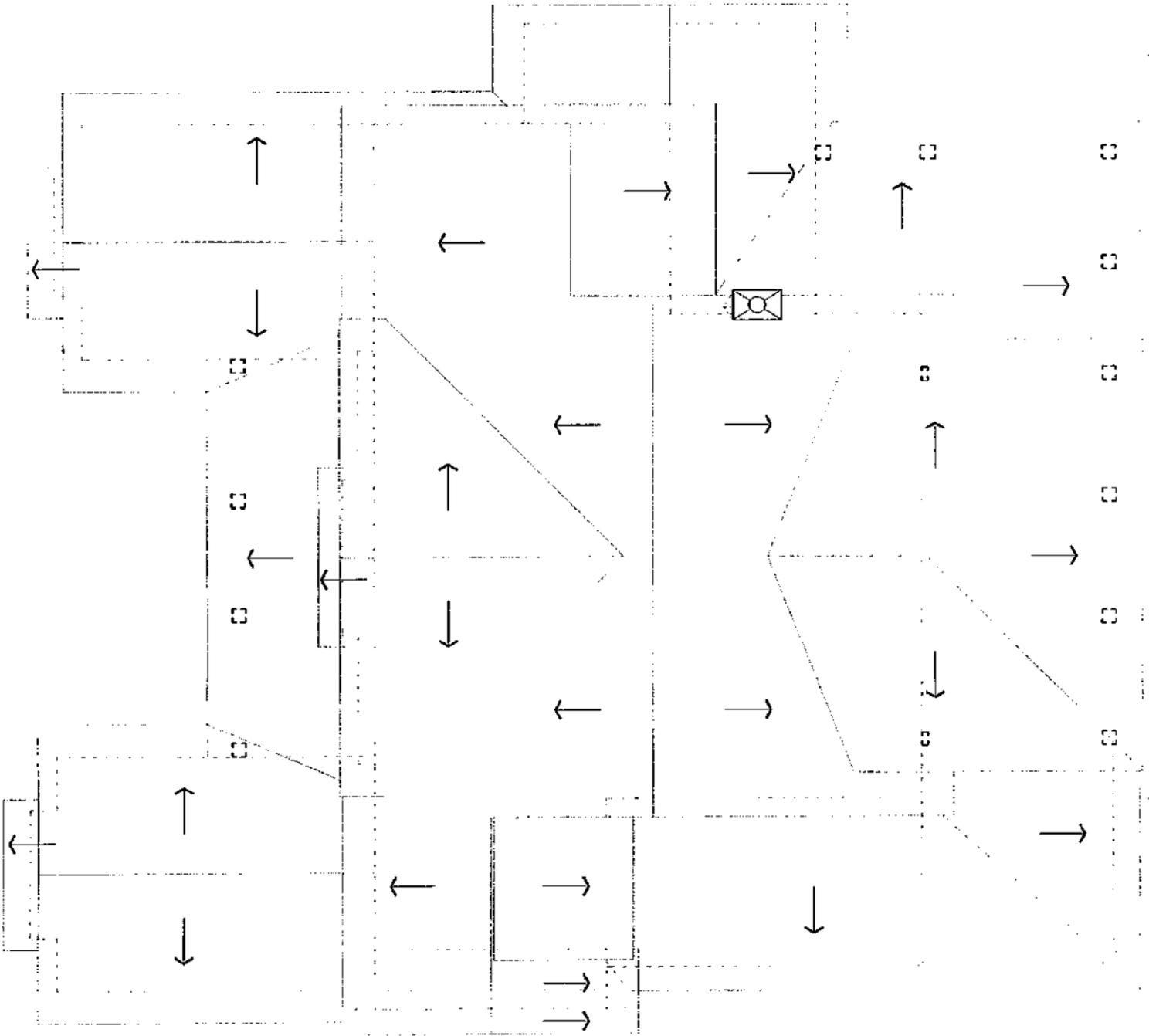
1 Ground Floor Plan
 Scale 1/4" = 1'-0"

SHEET 5
 GROUND FLOOR PLAN
 SHEET
 14' = 1'-0"

PROJECT NAME
 2650 Jasper Blvd.
 Sullivan's Island, SC
 5 8 16

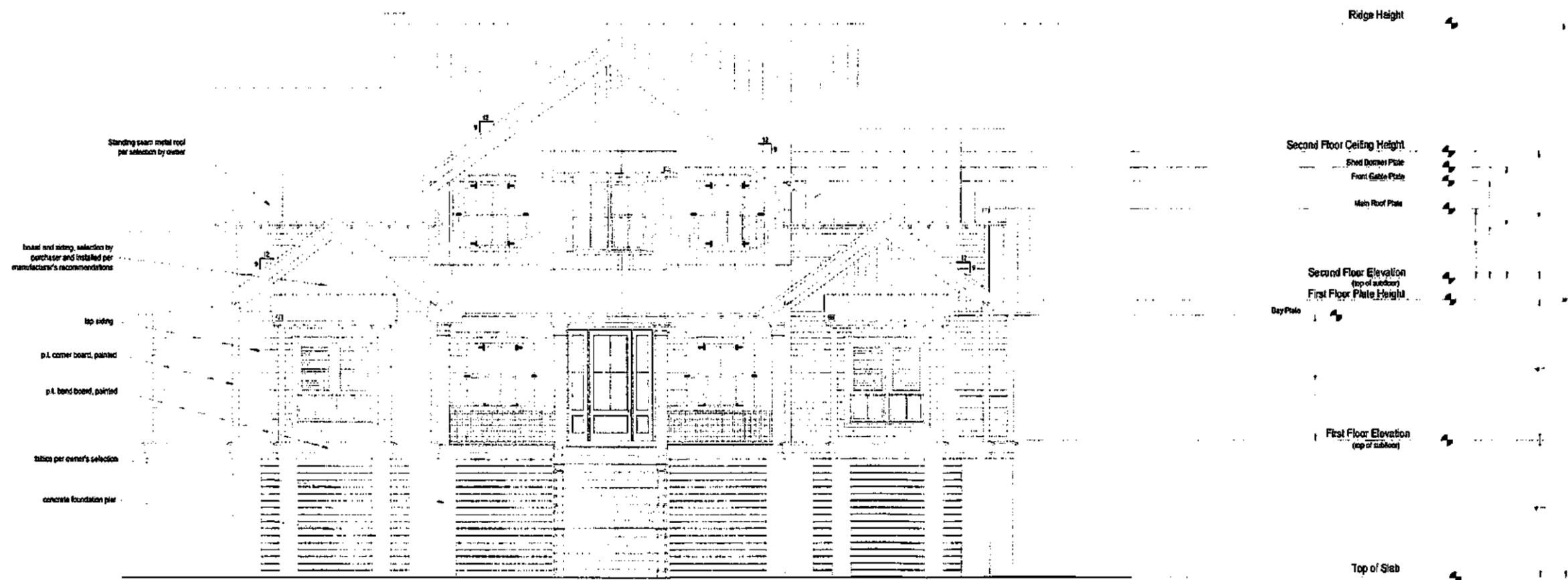


butterbean
 DEVELOPMENT GROUP LLC
 BRYN MAWR, PA 19010
 alex.bruno@butterbeandevelopment.com
 504-782-0197



1 Roof Plan
Scale: 1/4" = 1'-0"

SHEET TITLE ROOF PLAN	SCALE 1/4" = 1'-0"	DATE 5/18/16	PROJECT NAME 2650 Jasper Blvd. Sullivan's Island, SC	 <p>108 ORCHARD WAY BRYN MAWR, PA 19010 alex.bruno@butterbeandevlopment.com 504-782-0197</p>	PROJECT NO.
SHEET A4					



1 Front Elevation
Scale: 1/4" = 1'-0"

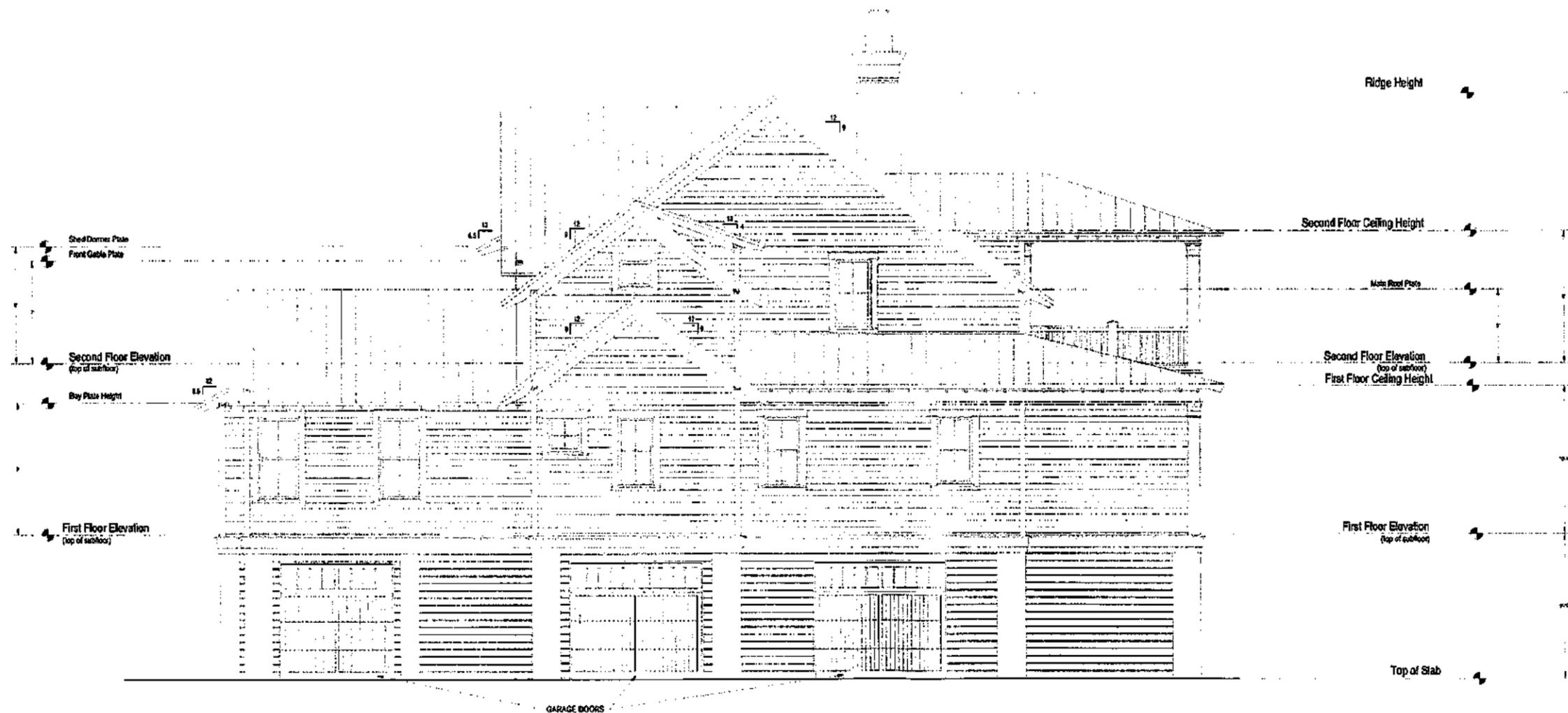
PROJECT NO

DATE
5/18/16

SCALE
1/4" = 1'-0"

SHEET TITLE
FRONT ELEVATION

SHEET



1 Right Elevation
Scale: 1/4" = 1'-0"

PROJECT NO

DATE

5/18/16

SCALE

1/4" = 1'-0"

SHEET TITLE

RIGHT ELEVATION

SHEET

A6



① Rear Elevation
: = 1'-0"



108 ORCHARD WAY
BRYN MAWR, PA 19010
of x bruno@ttbeandev.com
504-782-019

PROJECT NAME

2650 Jasper Blvd.
Sullivan's Island, SC

DATE

5/18/16

SCALE

1/4" = 1'-0"

REAR ELEVATION

A7



108 CRICHARD WAY
 BRYN MAWR, PA 19010
 info@butterbeandev.com 504-782-0197

2650 Jasper Blvd.
 Sullivan's Island, SC

PROJECT NAME

PROJECT NO

DATE

5/18/16

SCALE

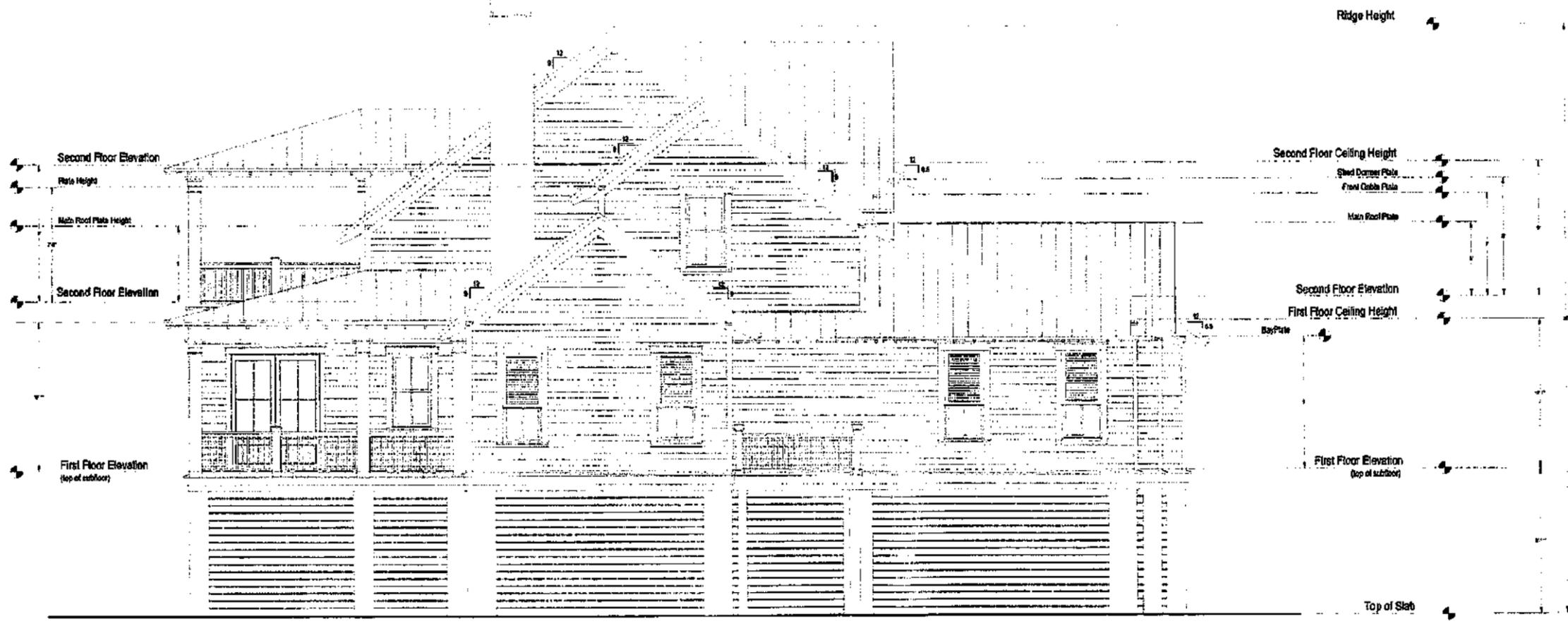
1/4" = 1'-0"

SHEET TITLE

LEFT ELEVATION

SHEET

A8



1 Left Elevation
 Scale: 1/4" = 1'-0"

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3108

(FORM A)

Project Address: 2205 Middle Street Unit D
 Submittal Date: 5/20/16
 Meeting Date: _____ Parcel I.D. (TMS#): _____

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

<input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input type="checkbox"/> Submittal is <i>within</i> the Historic District and is:	<input type="checkbox"/> Submittal is <i>outside</i> the Historic District and
	_____ designated as Historic Resource <input checked="" type="checkbox"/> not designated as Historic Resource	_____ designated as Historic Resource
	Historic Survey #: _____	Historic Survey #: _____

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Steve Cordina Architect / Designer: N/A
 Address: 2205 Middle Street Contact #: _____
Unit D email: _____
 email: Steve@ShadesOfCharleston.com Contractor: _____
 Contact #: 843 693 8938 Contact #: _____
 email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:

- Remove Existing Window 2x4 double hung to 4x4 Fixed window w white trim
- Remove Grid from door
- Add Signage on left side of door 2x3'

I (We) submit that the above information is true to the best of My (Our) knowledge. <u>Steve Cordina</u> Print Applicant's Name Applicant Signature	Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. _____ Owner's Signature	Fee Received by _____ check #
--	--	---



Example



REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2205 Middle Street Unit D

Submittal Date 5/30/16

Meeting Date: _____

BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet	_____ sf
Lot Width:	_____
Lot Depth:	_____
Flood Zone / Base Flood Elevation:	_____

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	_____ sf
Accessory Building Footprint:	_____ sf
Total Principal Bldg. Coverage Area:	_____ sf
(Principal Building plus Accessory Structure)	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	_____ sf
Covered Porches:	_____ sf
Open Decks / Steps:	_____ sf
Pool / Patio:	_____ sf
Drives / Walks:	_____ sf
Other Impervious Coverage	_____ sf
Total Impervious Coverage	_____ sf

Sec. 21-27 Principal Building Square Footage	
First Floor	_____ sf
Second Floor	_____ sf
Third Floor	_____ sf
Accessory Building	_____ sf
Total Principal Building Square Footage:	_____ sf
(Principal Building plus Accessory Structure)	

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: <u>-</u>	Roof: <u>-</u>
Walls: <u>SAME</u>	Windows: <u>Fixed double windows</u>
Trim: <u>White Trim</u>	Doors: <u>Remove The metal Gold</u>

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable (no relief req.)

REQUEST FOR CHANGE TO APPROVED DESIGN

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM D)

Project Address: 2205 Middle Street Unit D
Submittal Date: 5/30/16
Meeting Date: _____

Historic Resource: (check ONE) Yes No Within Historic District: (check ONE) Yes No

PROPOSED CHANGE: ① Face lift on Exterior of Unit D. Scope of work includes Removing existing small double hung window on Right side of Door & Replacing it with a Fixed 4x4 window to match unit beside D "Gold Bug". ② Remove Grids from door to match the window. ③ Add signage to the Left side of door 2'x3'.

REASON FOR CHANGE: Update unit - Adding more light to unit.

Nature of Work: (circle all that apply)
Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: _____ Architect / Designer: _____
Contact #: Steve Cordina Contact #: N/A
email: 843 693 8938 email: _____
Steve@shadesofcharleston.com Contractor: _____
Contact _____ #: _____
email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:
Replace window, ~~Remove~~ remove Grid from door, Add signage
- Remove existing window 2x4 double hung Replace with 4x4 Fixed window w/ white trim
- Remove grid from door
- Add signage on left side of door 2'x3'

TOWN ACTION:
 Approved at staff level
 Deferred to Design Review Board for Final Decision
All documentation as required for standard DRB application **must** be submitted to the Town prior to DRB deadline.

Building Official Signature _____ DRB Representative Signature _____

REQUEST FOR STAFF LEVEL APPROVAL

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM E)

Project Address: 2205 Middle Street Unit D
Submittal Date: 5/22/16
Meeting Date: _____

Historic Resource: (check ONE) Yes No Within Historic District: (check ONE) Yes No

PROPOSED WORK: Face Lift on Exterior of Unit D. Scope of work includes
removing 2x4 double hung window and replacing it with a fixed thermo
window 4x4 to match neighboring building "Gold Bug"
- Remove Grid from door
- Add signage on left side of door 2x3

REASON FOR WORK: update unit Dr. Adding more light and better look for new Retail space
formally "Sea Air"

Nature of Work: (circle all that apply)
Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Steve Cordina Architect / Designer: _____
Contact #: 843 693 8938 Contact #: N/A
email: Steve@ShadesofCharleston.com email: _____
Contractor: _____
Contact #: _____
email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:
- Remove existing double hung window 2x4 and replacing it with a 4x4
Fixed window (Thermo)
- Removing Grid from door
- Adding signage on left side of door 2x3'

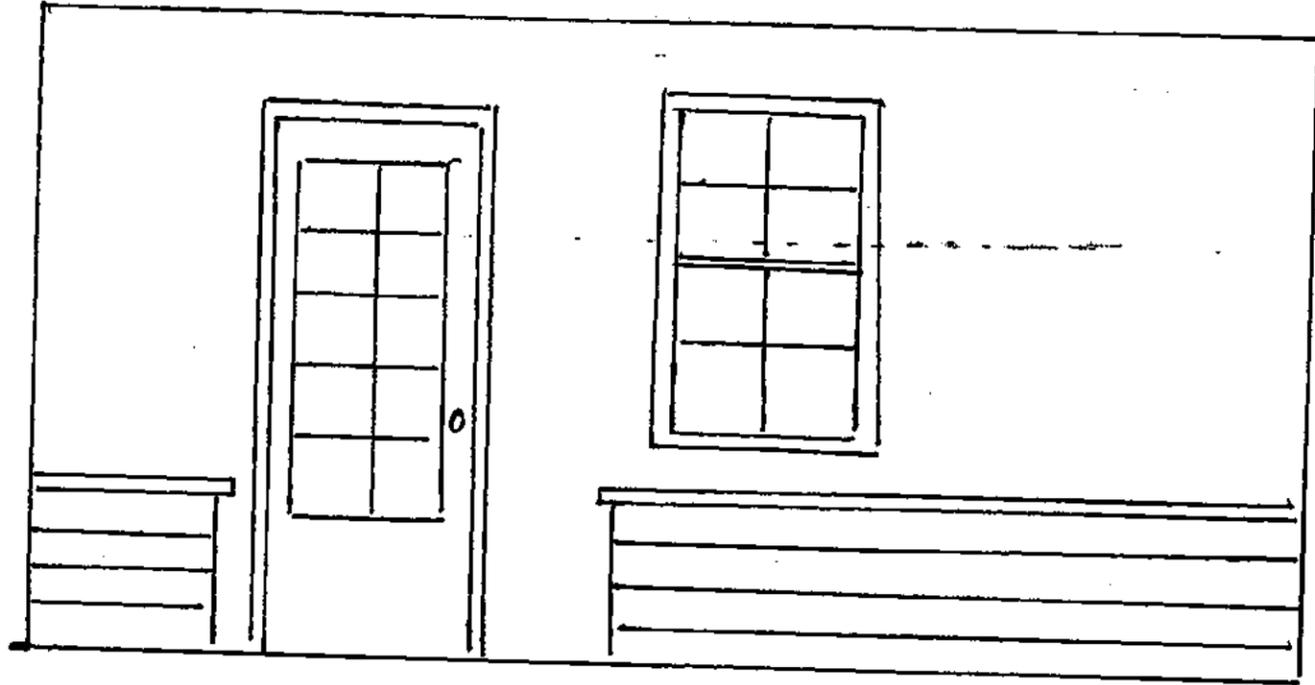
TOWN ACTION:

Approved at staff level

Deferred to Design Review Board for Final Decision
All documentation as required for standard DRB application
must be submitted to the Town prior to DRB deadline.

Building Official Signature _____ DRB Representative Signature _____

OLD

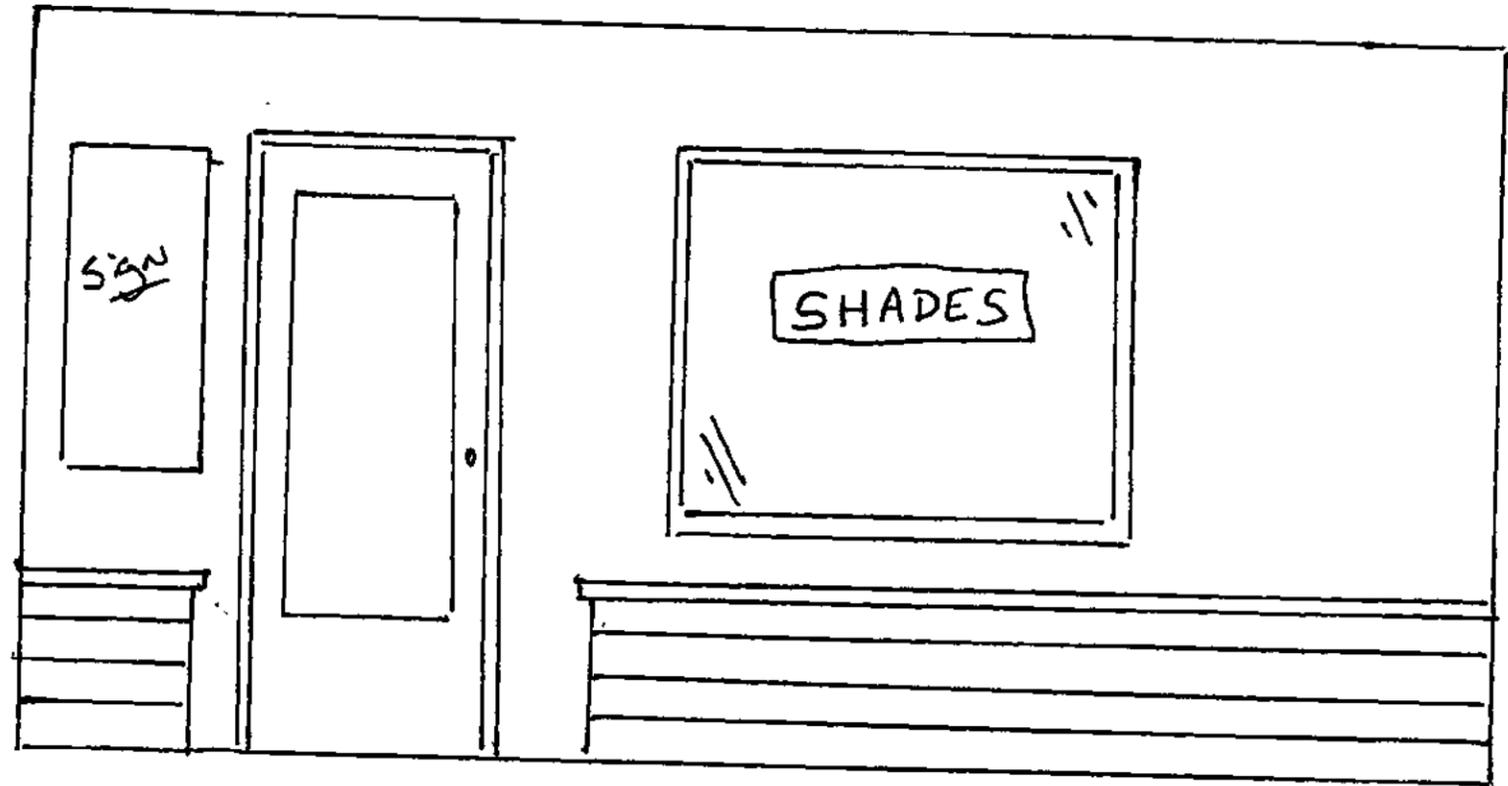


window - 2'x4'

SHADES OF CHARLESTON

Steve Cordina 843 693-8938

New



Window -
4'x4'

R. Coe
843-743-5609

CONCEPTUAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2102 Ion Avenue

Submittal Date: May 20, 2016

Meeting Date:

Requested Approval:

Conceptual

Preliminary

Final

Conceptual Review:

As soon as the Owner and/or Design Professional are able to identify design objectives, Conceptual plans should be submitted to the Design Review Board for review and comment. Please submit all items as requested. Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.

The following items shall be included in the Conceptual Submittal:

- Application fee (checks payable to Sullivan's Island Design Review Board)
- Completed Application to Sullivan's Island Review Board form (FORM A)
- Completed Sullivan's Island DRB Request for Review form (FORM B)
- Completed Zoning Standards Compliance Worksheet (FORM C)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures
 - All applicable survey information
- NA Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior Dimensions
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
- NA Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
- Optional: Photometrics Plan
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

Sullivan's Island Design Review Board

last modified January 2016

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2102 Ion Avenue
 Submittal Date: May 20, 2016
 Meeting Date: June 15, 2016 Parcel I.D. (TMS#): 529-09-00-019

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

Submittal is *outside* the Historic District, not classified historic, and requests DRB relief.

Submittal is *within* the Historic District and is: _____ designated as Historic Resource
 _____ not designated as Historic Resource

Submittal is *outside* the Historic District and _____ designated as Historic Resource

Historic Survey #: _____ Historic Survey #: _____

Nature of Work: (circle all that apply) **Parking Lot**

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Richard Graham Architect / Designer: Tim Cook - Engineer

Address: 2102 Ion Avenue Contact #: (843) 693-4477

Sullivan's Island email: 2820jasper@comcast.net

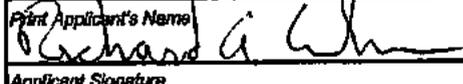
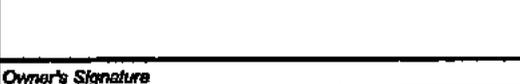
email: ryuban@aol.com Contractor: _____

Contact #: (843) 830-5909 Contact #: _____

email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:

Construction of a pervious parking lot, with landscaping as shown on the attached drawings

I (We) submit that the above information is true to the best of My (Our) knowledge.	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.	Fee Received by _____
Print Applicant's Name <u>RICHARD A GRAHAM</u> 	Owner's Signature 	check # _____

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2102 Ion Avenue

Submittal Date May 20, 2016

Meeting Date: June 15, 2016

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet:	<u>22,448</u>	sf
Lot Width:	<u>107.70'</u>	
Lot Depth:	<u>210.42'</u>	
Flood Zone / Base Flood Elevation:	<u>VE16 & AE15</u>	

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint:	<u>1,623.28</u>	sf
Accessory Building Footprint:	<u>502.62</u>	sf
<hr/>		
Total Principal Bldg. Coverage Area:	<u>2,125.90</u>	sf
(Principal Building plus Accessory Structure)		

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area	<u>1,623.28</u>	sf
Covered Porches:	<u>90.88</u>	sf
Open Decks / Steps:	<u>512.09</u>	sf
Pool / Patio:		sf
Drives / Walks:	<u>1,568.36</u>	sf
Other Impervious Coverage	<u>253.95</u>	sf
<hr/>		
Total Impervious Coverage	<u>4,048.56</u>	sf

Sec. 21-27 Principal Building Square Footage

First Floor	<u>1,623.28</u>	sf
Second Floor	<u>0</u>	sf
Third Floor	<u>0</u>	sf
Accessory Building	<u>502.62</u>	sf
<hr/>		
Total Principal Building Square Footage:	<u>2,125.90</u>	sf
(Principal Building plus Accessory Structure)		

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

** REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT*

Foundation: NA
Walls: NA
Trim: NA

Roof: NA
Windows: NA
Doors: NA

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

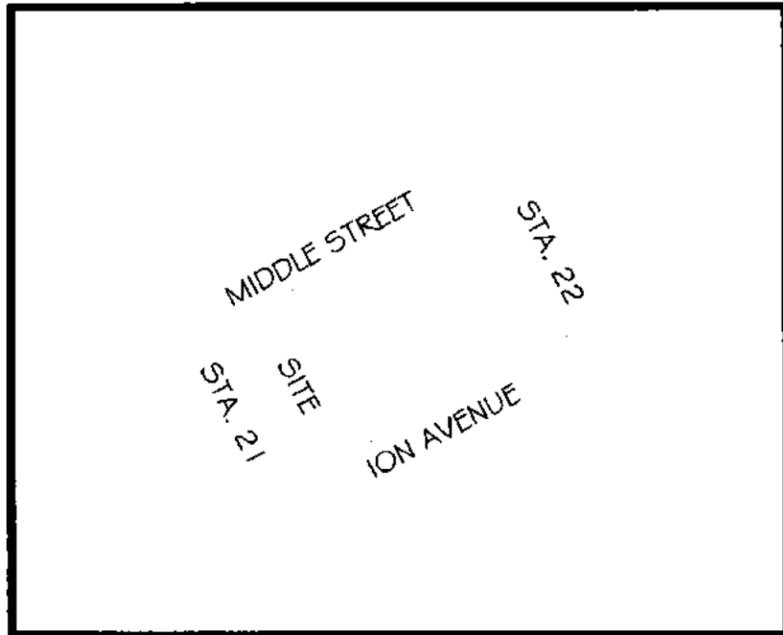
Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2102 Ion Avenue
 Submittal Date: May 20, 2016
 Meeting Date: June 15, 2016

	Zoning Ordinance Reference Section	Zoning Standard	✓ If meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft./Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	X	15% (3.75')		
	B	21-22 Additional Front Yard Setback	45° above 20'	X	15%		
	C	21-22 Side Setback	Per lot; Enter Result: ____min.; ____comb.	X	25%		
	D	21-22 Side Setback 2nd Floor Setback	2 feet	X	100%		
	E	21-22 Rear Setback	25 feet	X	None		
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result ____sf	X	20% ____sf		
	G	21-26 Impervious Coverage	as per formula: Enter Result 30% sf maximum	✓	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result ____sf	X	25% ____sf		
	I	21-28 Third Story	as per formula: Enter Result ____sf	X	15% ____sf		
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result ____sf	X	100%		
	K	21-29 Principal Building Side Façade	as per formula: Enter Result ____sf	X	100%		
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	X	Adjust for Neighborhood Compatibility		
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	X	1 foot		
	N	21-32 Foundation Enclosure	Check Ordinance	X	Adjust for Neighborhood Compatibility		
	O	21-34 Site Lighting	Check Ordinance	X	Adjust for Neighborhood Compatibility		

Construction Plans for: 2102 Ion Avenue



LOCATION MAP

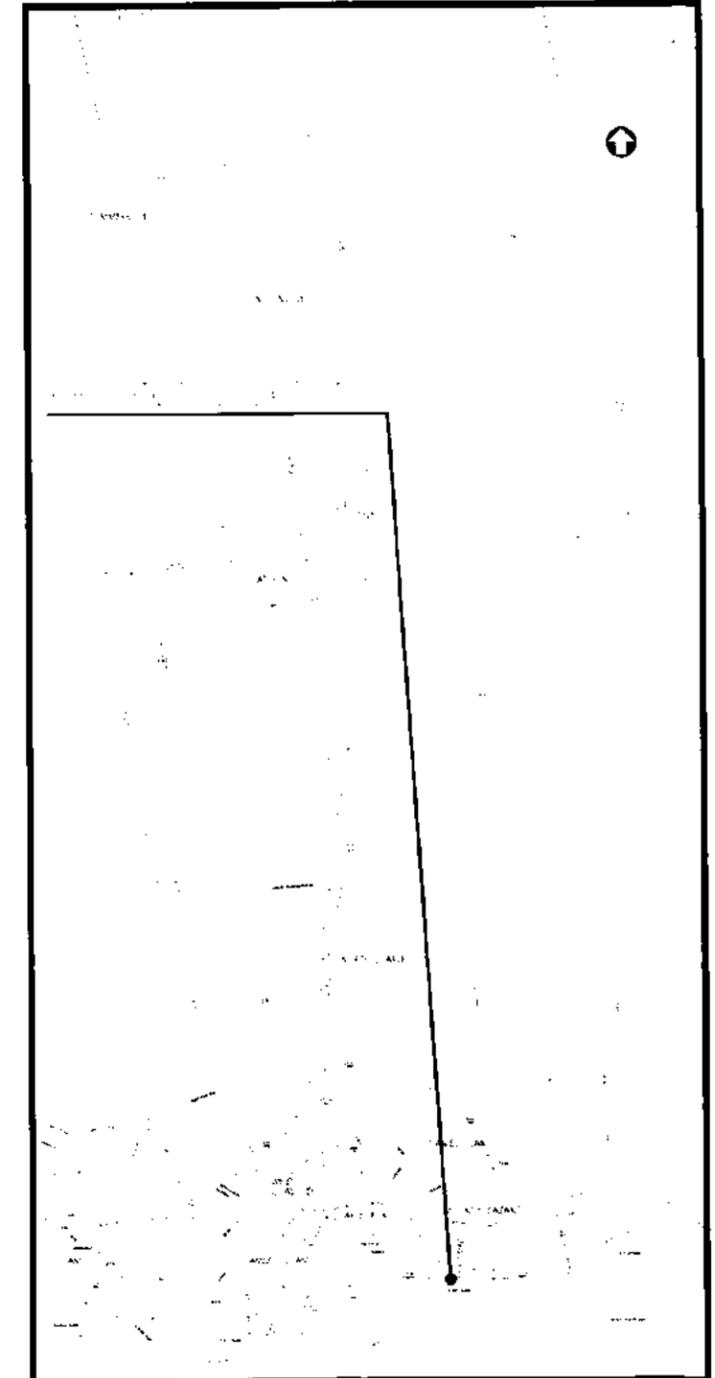
PROJECT LOCATION:
2102 Ion Avenue
Sullivan's Island, SC 29482

PROPERTY DESCRIPTION:
TMS#529-09-00-019

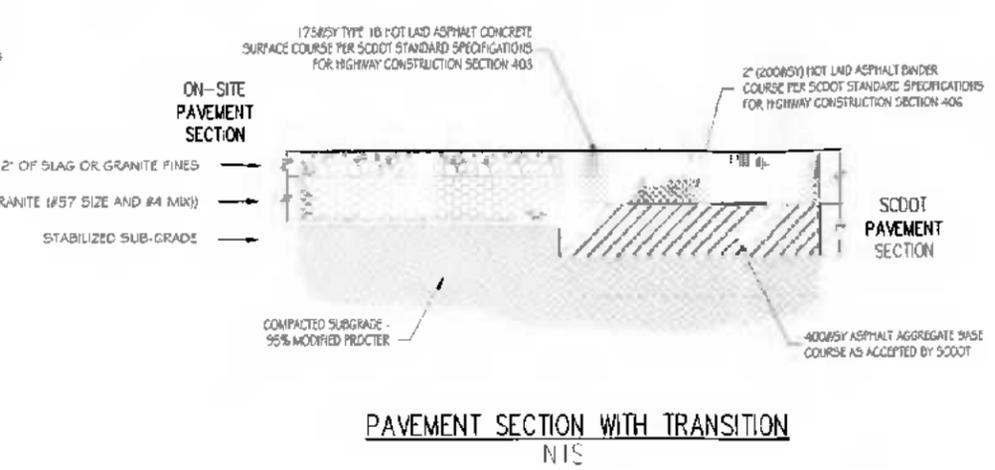
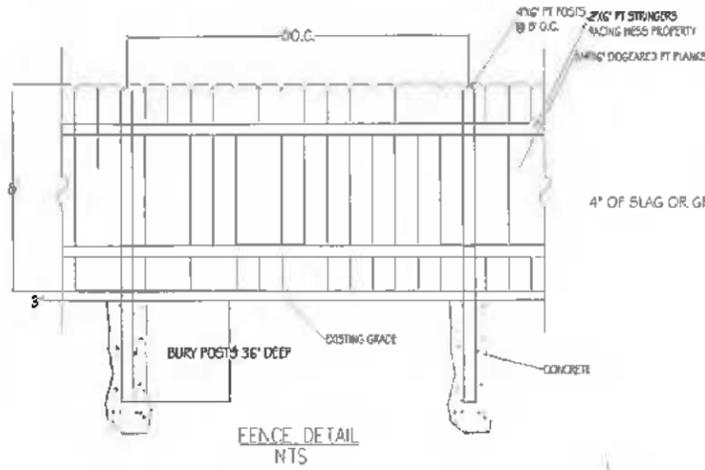
ZONING:
CCOD 1 & 2 Overlay Districts
Town of Sullivan's Island

OWNER:
Richard Graham
2102 Ion Avenue
Sullivan's Island, SC 29482
(843) 830-5909

ENGINEER:
Windmill Engineering
412 Station 14
Sullivan's Island, SC 29482
(843) 216-8887
(843) 216-8885 Fax



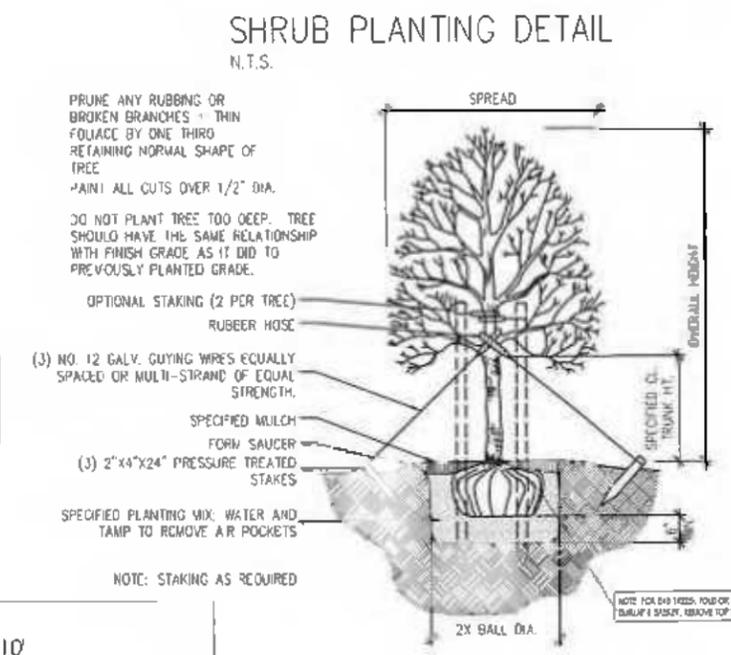
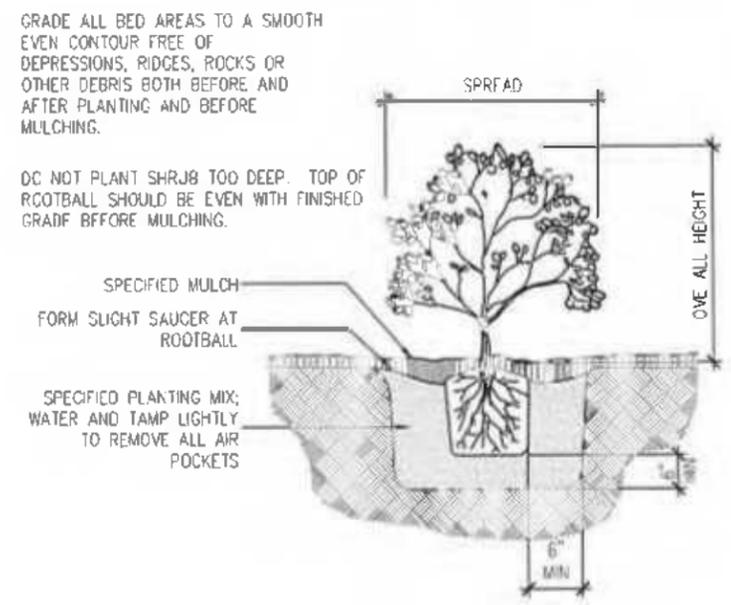
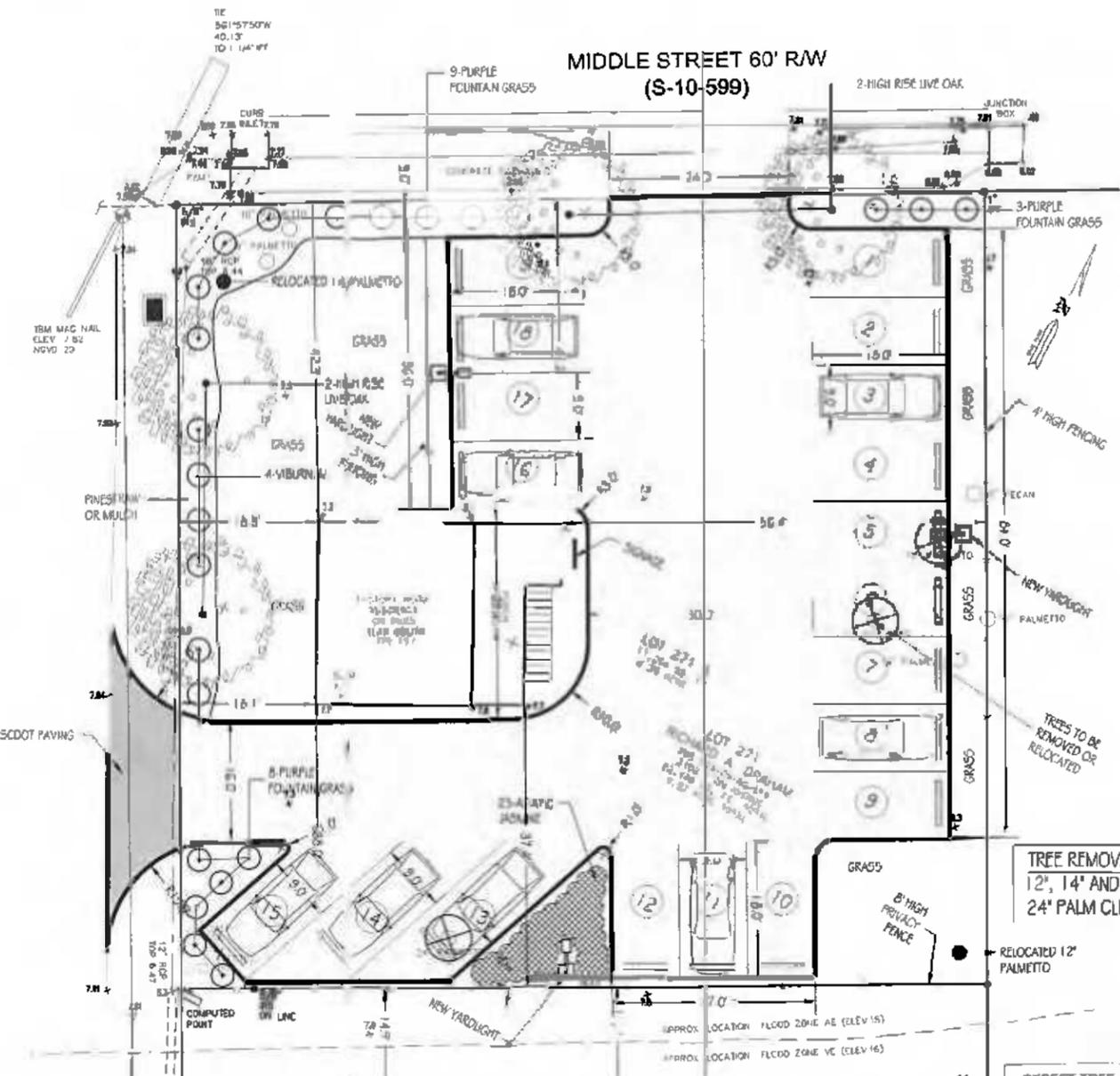
05/13/2016



PLANT SCHEDULE:

QUANTITY	BOTANICAL NAME/COMMON NAME	HEIGHT	SPREAD	CONTAINER	NOTES
4	QUERCUS VIRGINIANA / HIGH RISE LIVE OAK	8-10'	4-6'	843	2- 1/2" CAL.
0	MAGNOLIA VIRGINIANA / SWEET BAY	12-14'	4-6'	843	2" CAL-MULTI-STEM
0	LIGUSTRUM JAPONICUM / LIGUSTRUM	24-36"	18-24"	3 GAL.	SPECIMEN
4	VIBURNUM SUSPENSUM / SANDANKWA VIBURNUM	24-36"	18-24"	3 GAL.	SPECIMEN
20	PENNISETUM SETACEUM/PURPLE FOUNTAIN GRASS	24-36"	18-24"	3 GAL.	SPECIMEN
0	URIOPE MUSCARI / 'BIG BLUE' URIOPE	8-10"	12-18"	1 GAL.	SPECIMEN
25	TRACHELOSPERMUM ASIATICUM/ASIANIC JASMINE	8-10"	12-18"	1 GAL.	SPECIMEN

TYPICAL BED SECTION



TREE REMOVAL OR RELOCATION SCHEDULE
12', 14' AND 18' PALMETTO
24' PALM CLUSTER

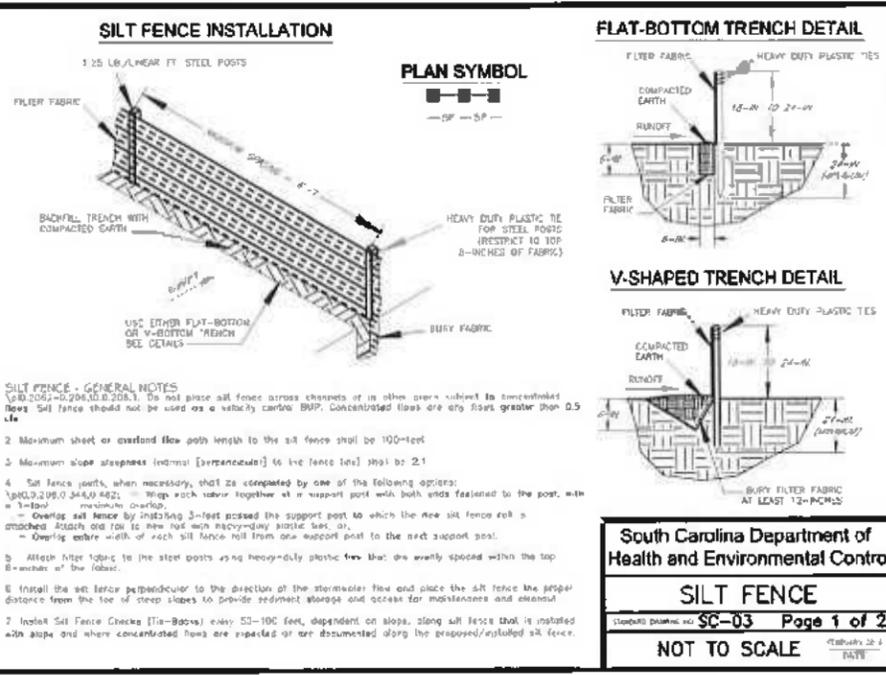
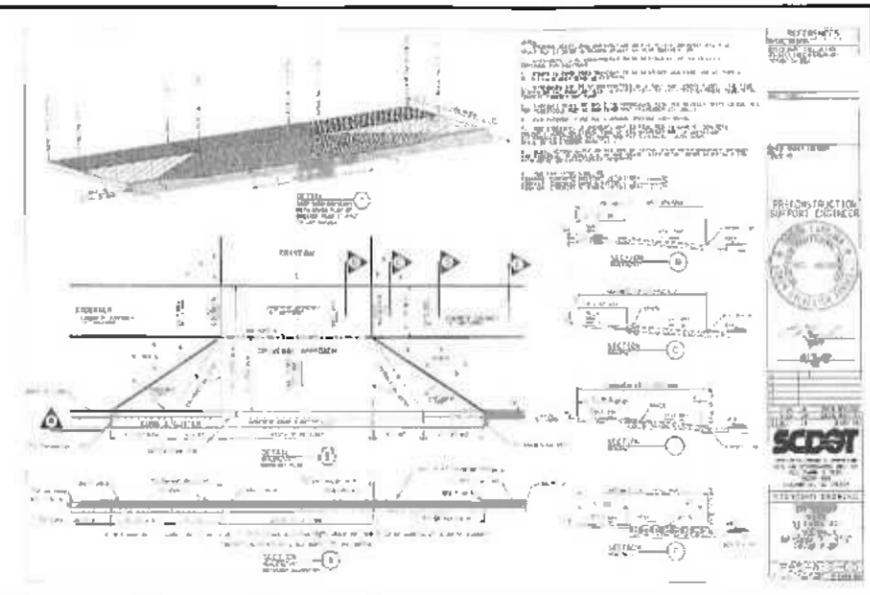
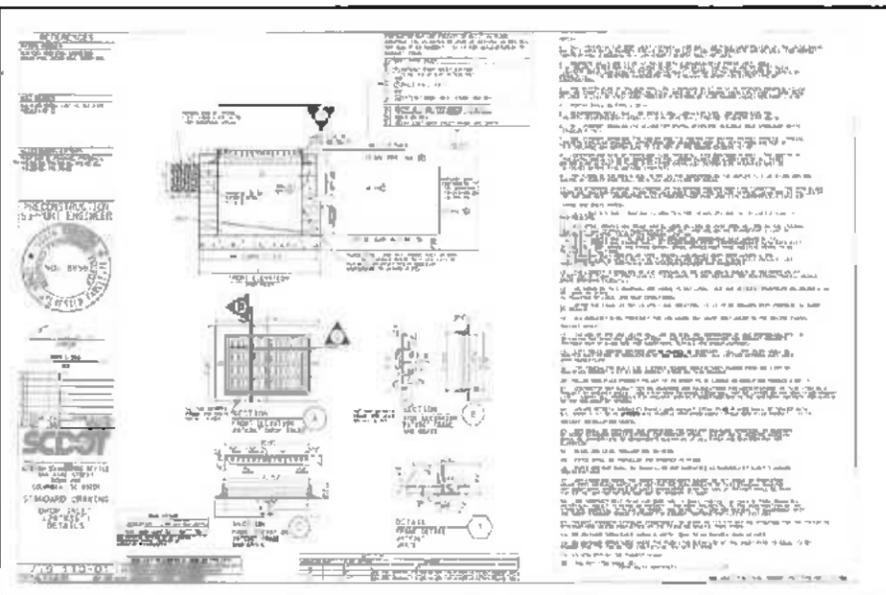
STREET TREE CALCULATION
STREET FRONTAGE = 107.7' + 104.4' = 212.10'
DRIVEWAY WIDTHS = 24' + 16' = 40'
NET STREET FRONTAGE = 212.10' - 40' = 172.10'
REQUIRED STREET TREES = 172.10' / 30' = 6 TREES
EXISTING TREES TO REMAIN AND COUNT TOWARD STREET TREES =
NEW TREES REQUIRED =

TITLE
SITE PLAN AND LANDSCAPE PLAN
FOR THE GRAHAM RESIDENCE
2102 ION AVENUE
SULLIVAN ISLAND, SOUTH CAROLINA 29462
TMS# 529-09-00-019

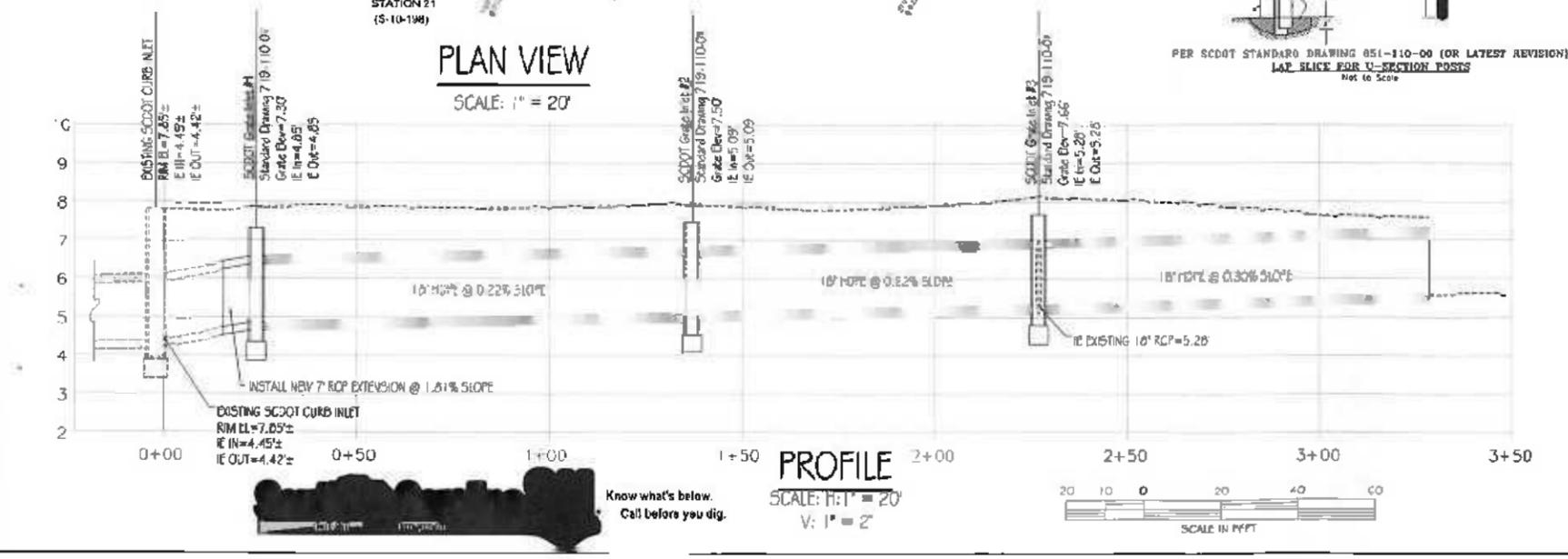
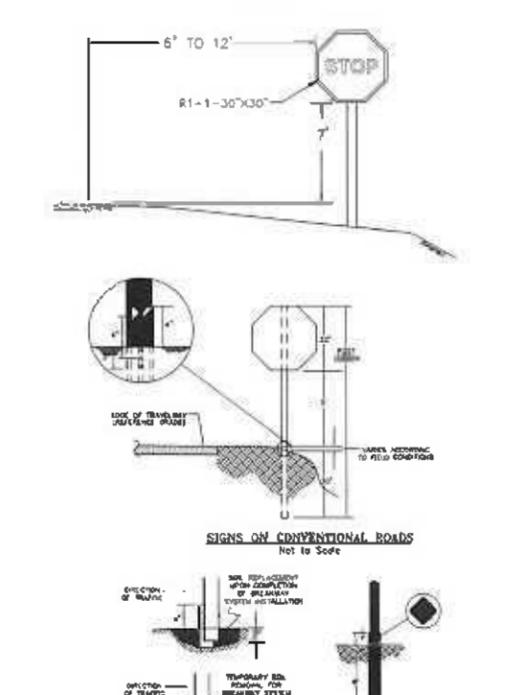
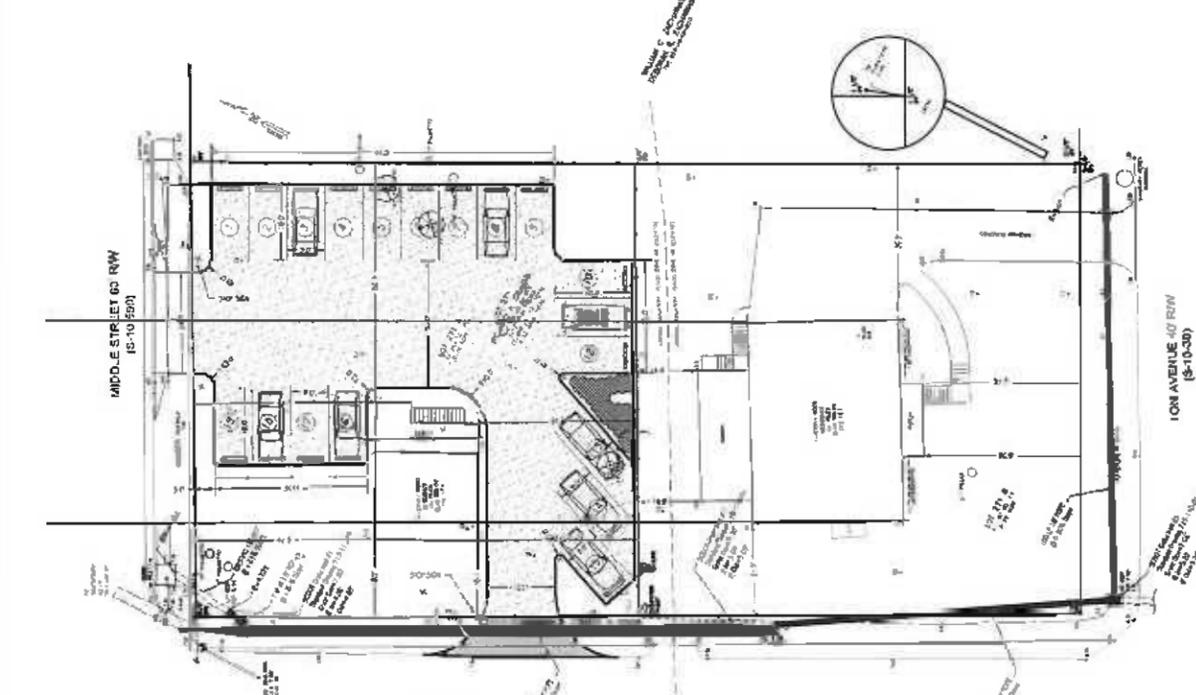
WINDMILL ENGINEERING SOLUTIONS, INC.
112 STATION 14 STREET, CAROLINA 29462
(843) 216-8887 • (843) 216-8885 FAX
E-MAIL: 2020@performcost.net



DATE	05/13/16
DESIGNED	J.C.
DRAWN	J.C.
PROJECT	J.C.
SCALE	1" = 10'
DATE	05/13/16
PROJECT NO.	GRHAM
SHEET	C-1 OF 4



South Carolina Department of Health and Environmental Control
SILT FENCE
 Standard Drawing No. SC-03 Page 1 of 2
 NOT TO SCALE

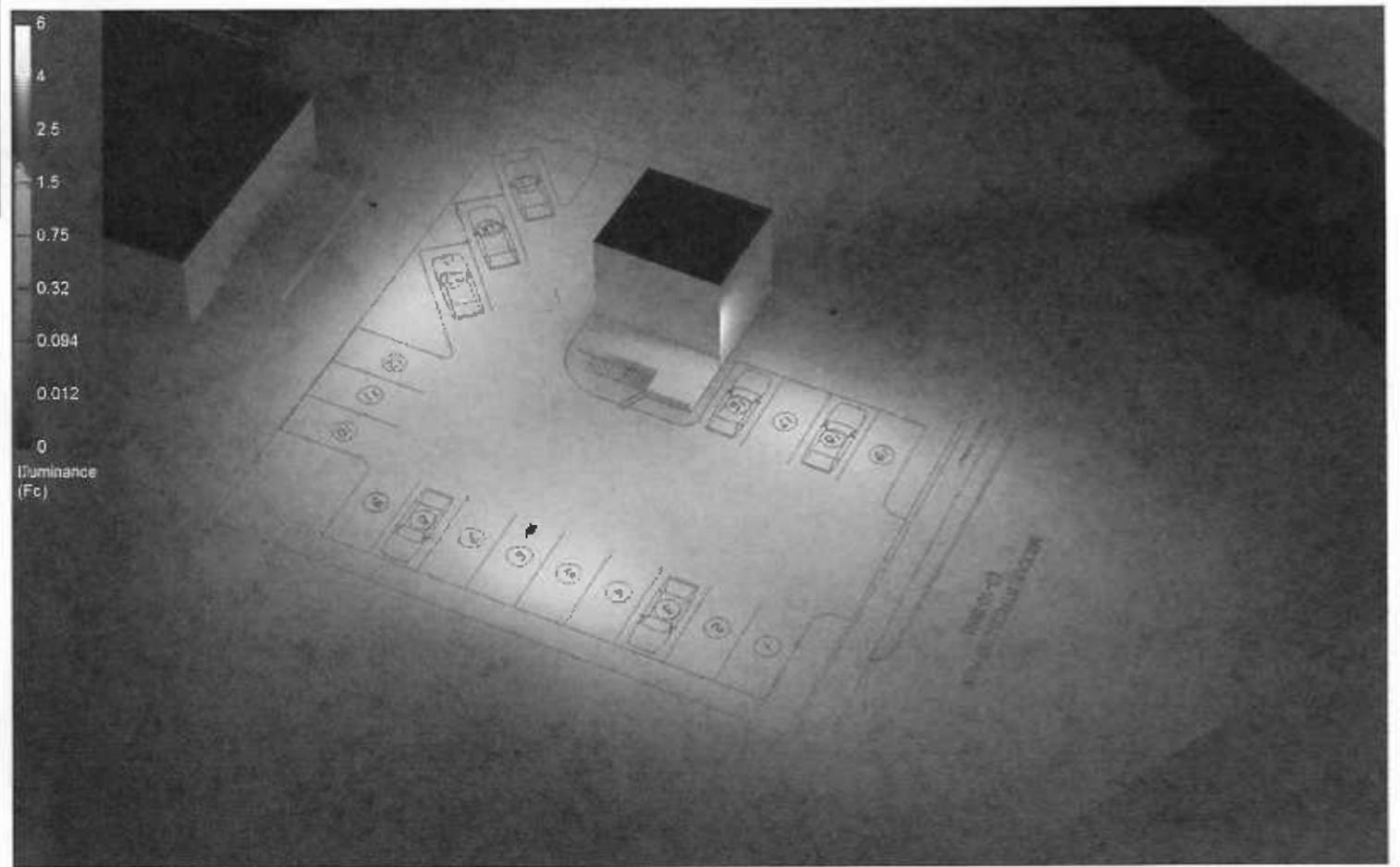


WINDMILL ENGINEERING SOLUTIONS, INC.
 412 STATION 14 STREET, PH. 2802046, 29482
 (843) 216-1887 - (843) 216-8885 FAX
 E-MAIL: 2802046@windmill.com

GRADING AND DRAINAGE PLAN
 FOR THE GRAHAM RESIDENCE
 2102 ION AVENUE
 SULLIVAN'S ISLAND, SOUTH CAROLINA 29482
 TMS# 529-09-00-019



Plan View



Iso View

RAB
LIGHTING
 170 Ludlow Avenue, Northvale, NJ 07647
 888 722-1000 • RABWEB.COM

Prepared For:
 KMS
 355 Park
 Youngsville, NC 27593
 Tel: 888-839-1583

Job Name:
 2102 Ion Parking
 Charleston, SC
 Lighting Layout
 Version A

Scale: as noted

Date: 4/28/2016

CASE #: 00037065

Filename: 2102 Ion Parking Lighting Layout 00037065A.AGI

Drawn By: Margaret Callan

The Lighting Analysis, eLayout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by the RAB Lighting Inc. ("RAB") represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

RAB neither warranties, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warranties, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by RAB. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.

Filename: Z:\Job Files\KMS\CED\North Charleston 104071\2102 Ion Parking\Working Files\AGI\2102 Ion Parking Lighting Layout 00037065A.AGI

Luminaire Schedule

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description	Lum. Watts	Arr. Watts	Total Watts	Filename
	3	A	ALED3T78	SINGLE	6911	6911	1.000	LED Area Light 78W	78.4	78.4	235.2	ALED3T78 - Cool - ITL79605.IES

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description	PtSpcLr	PtSpcTb	Meter Type
CalcPts_1	Illuminance	Fc	1.11	4.5	0.0	N.A.	N.A.	Readings Taken at 0'0" AFG	5	5	Horizontal
Parking Lot	Illuminance	Fc	2.09	4.5	0.5	4.18	9.00	Readings Taken at 0'0" AFG			

Expanded Luminaire Location Summary

LumNo	Label	Tag	X	Y	MTG HT	Orient
1	ALED3T78	A	90.316	30.009	20	115
2	ALED3T78	A	111.882	107.305	20	203
3	ALED3T78	A	43.67	98.597	20	27

Total Quantity: 3



A : ALED3T78



PS4-11-20D2

NOTES:

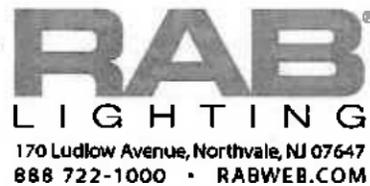
* The light loss factor (LLF) is a product of many variables, only lamp lumen depreciation (LLD) has been applied to the calculated results unless otherwise noted. The LLD is the result (quotient) of mean lumens / initial lumens per lamp manufacturers' specifications.

* Illumination values shown (in footcandles) are the predicted results for planes of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is normal to the plane of calculation.

* The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to means and methods which are beyond the control of RAB Lighting Inc.

* Mounting height determination is job site specific, our lighting simulations assume a mounting height (insertion point of the luminaire symbol) to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.

RAB Lighting Inc. luminaire and product designs are protected under U.S. and International intellectual property laws. Patents issued or pending apply.



Prepared For:
KMS
355 Park
Youngsville, NC 27593
Tel: 888-839-1583

Job Name:
2102 Ion Parking
Charleston, SC
Lighting Layout
Version A

Scale: as noted

Date: 4/28/2016 CASE #: 00037065

Filename: 2102 Ion Parking Lighting Layout 00037065A.AGI

Drawn By: Margaret Callan

The Lighting Analysis, layout, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by the RAB Lighting Inc. ("RAB") represent an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. These design parameters and information provided by others have not been field verified by RAB and therefore actual measured results may vary from the actual field conditions. RAB recommends that design parameters and other information be field verified to reduce variation.

RAB neither warrants, either implied or stated with regard to actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design. RAB neither warrants, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design intent as compliant with any applicable regulatory code requirements with the exception of those specifically stated on drawings created and submitted by RAB. The Lighting design is issued, in whole or in part, as advisory documents for informational purposes and is not intended for construction nor as being part of a project's construction documentation package.



Specification Grade Area lights available in IES Type III distributions. For use in parking lots, roadways, pathways and general area lighting. Mounts to 4" square steel poles at 15-25'. Designed to replace 250W Metal Halide Area Lights. Patent Pending thermal management system. 5 Year Warranty.

Color: Bronze

Weight: 30.4 lbs

Project:	Type: A
Prepared By: Margaret Callan	Date:

Driver Info		LED Info	
Type:	Constant Current	Watts:	78W
120V:	0.66A	Color Temp:	5100K (Cool)
208V:	0.41A	Color Accuracy:	67 CRI
240V:	0.35A	L70 Lifespan:	100000
277V:	0.30A	Lumens:	
Input Watts:	78W	Efficacy:	88 LPW
Efficiency:	99%		

Technical Specifications

Optical

Lumen Maintenance:

100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.

Replacement:

The ALED78 replaces 250W Metal Halide Area Lights.

BUG Rating:

B1 U0 G2

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

IP Rating:

Ingress Protection rating of IP66 for dust and water.

Ambient Temperature:

Suitable for use in 40°C ambient temperatures.

Cold Weather Starting:

The minimum starting temperature is -40°F/-40°C.

Thermal Management:

Superior heat sinking with external Air-Flow fins.

Effective Projected Area:

EPA = 0.75

Housing:

Die cast aluminum housing, lens frame and mounting arm.

Reflector:

Specular vacuum-metallized polycarbonate

Gaskets:

High temperature silicone gaskets.

Finish:

Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contains no VOC or toxic heavy metals.

Green Technology:

Mercury and UV free.

For use on LEED Buildings:

IDA Dark Sky Approval means that this fixture can be used to achieve LEED Credits for Light Pollution Reduction.

LED Characteristics

LEDs:

Six (6) multi-chip, 13W, high-output, long-life LEDs.

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color.

Color Stability:

LED color temperature is warranted to shift no more than 200K in CCT over a 5 year period.

Color Uniformity:

RAB's range of CCT (Correlated color temperature) follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2015

Electrical

Driver:

Constant Current, Class 2, 2000mA, 100-277V, 50-60Hz, 1.1A, Power Factor 99%

THD:

5.3% at 120V, 13.3% at 277V

Surge Protection:

4kV

Surge Protector:

ALED78 is available with a 6kV surge protector (SP6). SP6 available .

Listings

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and 80, and have received the Department of Energy "Lighting Facts" label.

Dark Sky Approved:

The International Dark Sky Association has approved this product as a full cutoff, fully shielded luminaire.

UL Listing:

Suitable for wet locations as a downlight.

ALED3T78



Technical Specifications (continued)

Listings

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities.
DLC Product Code: P0000179S

Other

California Title 24:

See ALED3T78/D10, ALED3T78/BL, ALED3T78/PCS, ALED3T78/PCS2, or ALED3T78/PCT for a 2013 California Title 24 compliant product. Any additional component requirements will be listed in the Title 24 section under technical specifications on the product page.

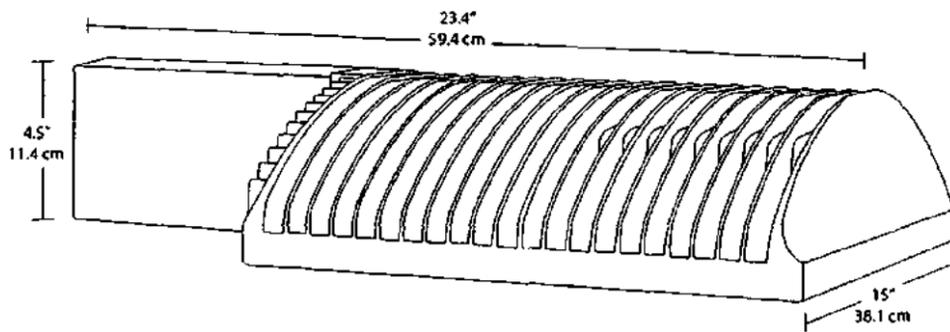
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish.

Patents:

The ALED design is protected by patents in the U.S. Pat. 668,370, Canada Pat. 144956, China ZL201230100154.X, and Mexico Pat. 38423. Pending patents in Taiwan.

Dimensions



Features

- High output LED light engine
- Maintains 70% of initial lumens at 100,000 hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins
- Replaces 250W MH area lights
- 5-year warranty

Ordering Matrix

Family	Distribution	Watts	Mount	Color Temp	Finish	Voltage	Photocell	Dimming	Sensor	Bi-Level
ALED										
2T = Type II	78 =	= Arm	= 5000K	=	= 120-	= No Photocell	= No	= No	/WS2 = Multi-Level Motion Sensor (Only available for 120-277V with /D10 for 78W)	= No Bi-Level
3T = Type III	78W	SF =	(Cool)	Bronze	277V	/PC = 120V	Dimming	/D10 =		Level
4T = Type IV		Slipfitter	Y = 3000K	W =	/480 =	Button	/D10 =	Dimmable		Level
			(Warm)	White	480V	/PC2 = 277V				
			N = 4000K	RG =		Button				
			(Neutral)	Gray		/PCS = 120V				
						Swivel				
						/PCS2 = 277V				
						Swivel				
						/PCT = 120-277V				
						Twistlock				
						/PCS4 = 480V				
						Swivel				

PS4-11-20D2



Project:
2102 Ion Parking

Type:

Prepared By:
Margaret Callan

Date:
4/28/2016

Lamp Info

Type: N/A
Watts: 0W
Shape/Size: N/A
Base: N/A
ANSI: N/A
Hours: N/A
Lamp Lumens: N/A
Efficacy: N/A

Ballast Info

Type: N/A
120V: N/A
208V: N/A
240V: N/A
277V: N/A
Input Watts: 0W

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 137.0 lbs

Technical Specifications

Listings

CSA Listed:

Suitable for wet locations.

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover.

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage.

Color:

Bronze powder coating.

Height:

20 FT.

Weight:

137 lbs.

Gauge:

11

Wall Thickness:

1/8".

Shaft Size:

4".

Hand Hole Dimensions:

3" x 5".

Bolt Circle:

8 1/2".

Base Dimension:

8".

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available .

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge.

MaxEPA's/Max Weights:

70MPH 8.3 ft_/240 lb
80MPH 5.6 ft_/165 lb
90MPH 3.6 ft_/110 lb
100MPH 2.2 ft_/75 lb
110MPH 1.0 ft_/45 lb
120MPH 0.2 ft_/20 lb.

Other

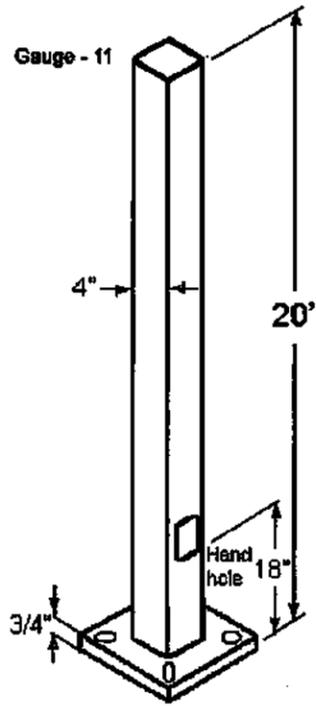
Terms of Sale:

Pole Terms of Sale is available .

PS4-11-20D2



Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application

Proof





Search for images



Search for images

W

**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2063 Middle Street
 Submittal Date: 5/20/2016
 Meeting Date: 6/15/2016 Parcel I.D. (TMS#): 529-09-00-017

Requested Approval (check ONE) Conceptual Preliminary Final

Check one: Submittal is *outside* the Historic District, not classified historic, and requests DRB relief. Submittal is *within* the Historic District and is: Submittal is *outside* the Historic District and

_____ designated as Historic Resource _____ designated as Historic Resource
 _____ not designated as Historic Resource

Historic Survey #: _____ Historic Survey #: _____

Nature of Work: (circle all that apply)
 Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Doug Goodley Architect / Designer: Reggie Gibson Architects
Marlbank Restaurant
Group, LLC
 Address: _____ Contact #: 843.722.9040
2063 Middle St. email: alicia@reggiegibsonarchitects.com
 email: dgoodley@frankiesfunpark.com Contractor: N/A
 Contact #: 843.324.8189 Contact #: _____
 email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:
Parking Review for 20 outside seats

I (We) submit that the above information is true to the best of My (Our) knowledge.	Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.	Fee Received by _____ check # _____
Applicant's Name: <u>Alicia Reed</u> Applicant Signature: <u>Alicia Reed</u>	Owner's Signature: <u>M.P. Goodley</u>	

REQUEST FOR CHANGE TO APPROVED DESIGN

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM D)

Project Address: 20163 Middle Street
 Submittal Date: 5/20/2014
 Meeting Date: 6/15/2014

Historic Resource: (check ONE) Yes No Within Historic District: (check ONE) Yes No

PROPOSED CHANGE: Parking Review for 20 outside seats

REASON FOR CHANGE:

Nature of Work: (circle all that apply)
 Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Doug Godley Architect / Designer: Reggie Gibson Architects
 Contact #: Group 843-324-8109 Contact #: 843-722-9040
 email: dgodley@frankiesfunpark.com email: alicia@reggiegibsonarchitects.com
 Contractor: N/A
 Contact #: _____
 email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:
Tables and chairs for 20 at existing patio

TOWN ACTION:

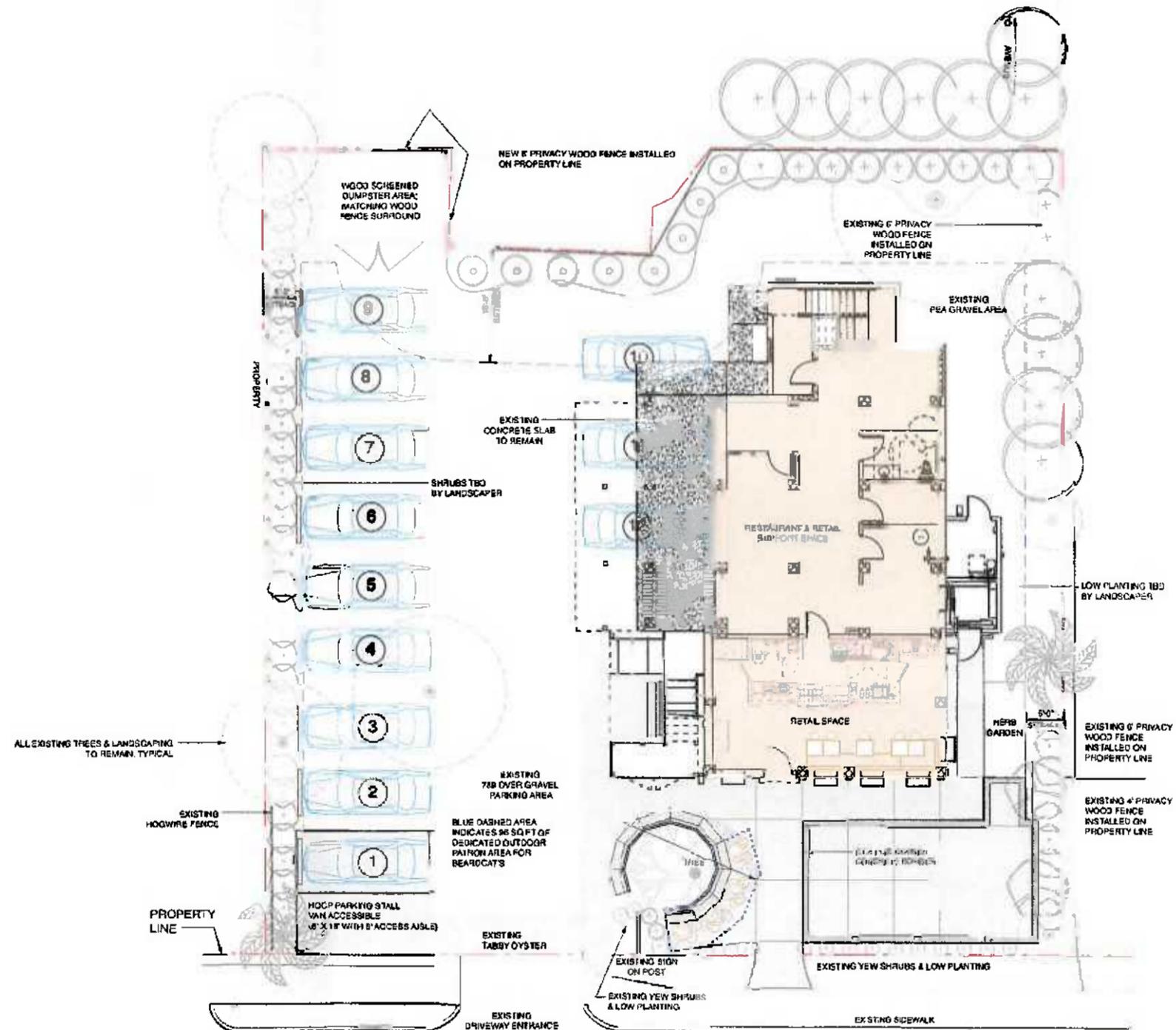
Approved at staff level

Deferred to Design Review Board for Final Decision
 All documentation as required for standard DRB application
must be submitted to the Town prior to DRB deadline.

Building Official Signature _____ DRB Representative Signature _____



EXISTING FRONT AREA



TMS # 529-09-00-125 (IN FEET)
 ZONING: CC - COMMUNITY COMMERCIAL
 LOT SIZE: 10,585 S.F.
 LOT WIDTH: 104.50'
 LOT DEPTH: 105'
 FLOOD ZONE / BASE FLOOD ELEV: AE/15

MIDDLE STREET (60' RW)

EXISTING: **12** SPACES

*ALL PARKING SPACES SHOWN AT 9' X 18' EXCEPT HOCP SPACE

REGGIE GIBSON ARCHITECTS
 129 VANDERHURST STREET
 CHARLESTON, SC 29403
 843.732.9040



OBSTINATE DAUGHTER
 2069 MIDDLE STREET
 SULLIVAN'S ISLAND, SC

REVISIONS	ISSUE DATE

DRAWN BY: AR

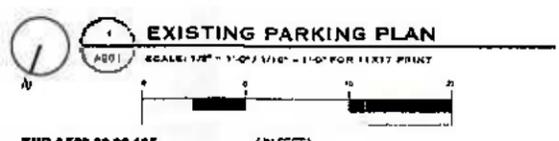
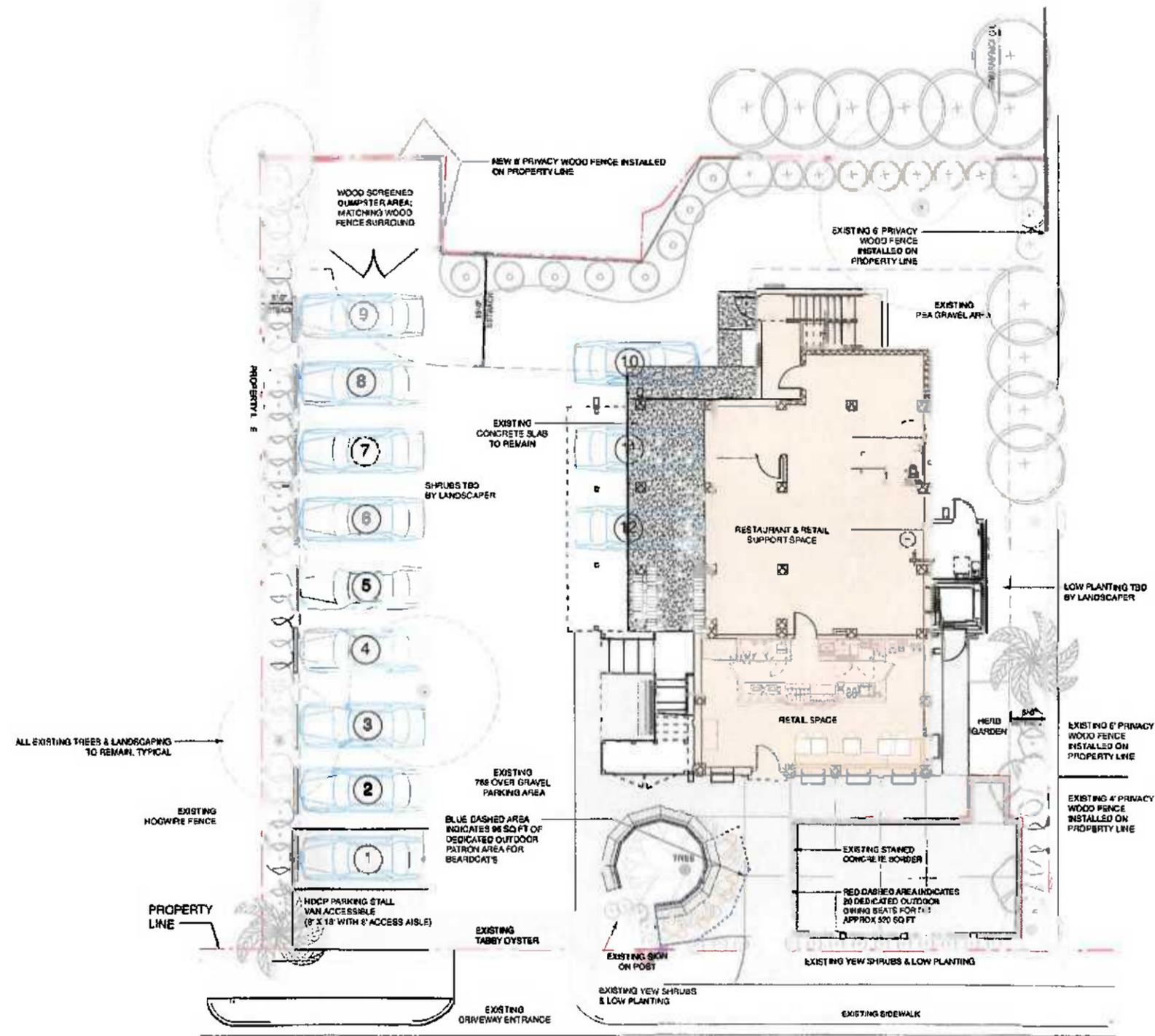
**EXISTING
 PARKING
 PLAN**

A001

**NOTE:
NO PROPOSED CHANGES TO TREES,
LANDSCAPING, PAVED AREAS, OR
BUILDING**



PROPOSED FRONT AREA



TMS # 529-09-00-125

ZONING: CC - COMMUNITY COMMERCIAL

LOT SIZE: 10,585 S.F.

LOT WIDTH: 104.56'

LOT DEPTH: 105'

FLOOD ZONE / BASE FLOOD ELEV: AE/1.5

PROPOSED: 12 SPACES

*ALL PARKING SPACES SHOWN AT 8' X 18' EXCEPT HDCP SPACE

GIBSON ARCHITECTS
128 VANDERHORST STREET
CHARLESTON, SC 29403
P 843.722.9040



STINTE DA G
2063 MIDDLE STREET
SULLIVAN ISLAND,

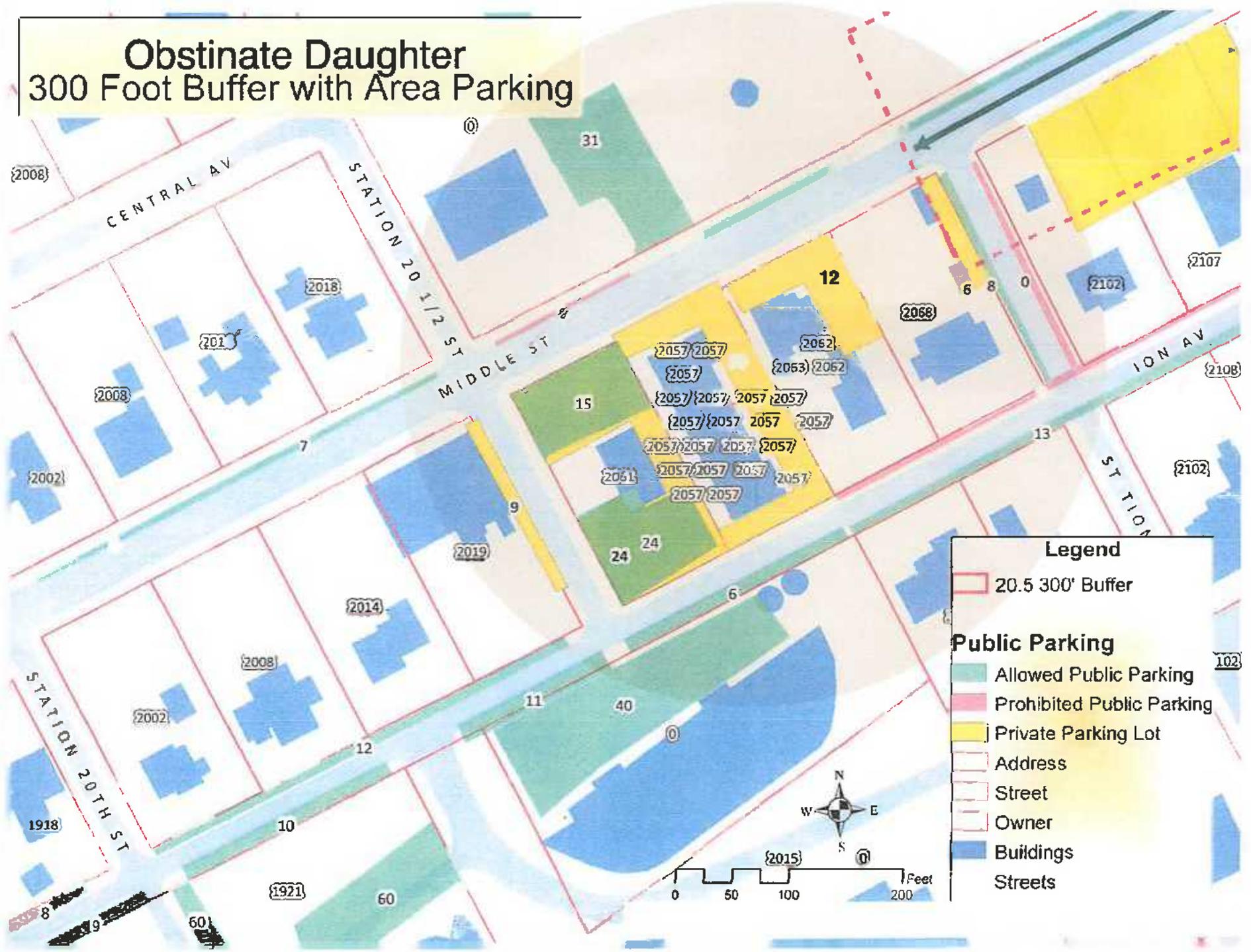
REVISIONS	ISSUE DATE
DRG	30 MAY 2014

DRAWN BY: AR

**PROPOSED
PARKING
PLAN**

Obstinate Daughter

300 Foot Buffer with Area Parking



Legend

- 20.5 300' Buffer
- Allowed Public Parking
- Prohibited Public Parking
- Private Parking Lot
- Address
- Street
- Owner
- Buildings
- Streets

PRELIMINARY SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

3003 Brownell Avenue

Submittal Date:

5/27/16

Meeting Date:

Requested Approval:

Conceptual

Preliminary

Final

Preliminary Review:

Preliminary Reviews are required only at the request of the DRB after completion of a Conceptual Review. In addition to the formal requirements below, you may be asked to submit specific information or documentation by the DRB. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting**

The following items shall be included in the Preliminary Submittal:

- Application fee (checks payable to Sullivan's Island Design Review Board)
- Completed Application to Sullivan's Island Review Board form (FORM A)
- Completed Sullivan's Island DRB Request for Review form (FORM B)
- Completed Zoning Standards Compliance Worksheet (FORM C)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint, illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines, and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures (with roof plan dashed above)
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior dimensions for walls and porches
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Additional Front Yard Setback shall be shown on both side elevations for clarity.
 - Any additional information or clarifications as may have been requested by the DRB at Conceptual Review
[including but not limited to Photographs of Adjacent Properties, Scale Models, Google Earth Images, and Perspective Sketches]

APPLICATION TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 3003 Browne Avenue

Submittal Date: _____

Meeting Date: _____

Parcel I.D. (TMS#): 529-12-00-04

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:



Submittal is outside the Historic District, not classified historic, and requests DRB relief.



Submittal is within the Historic District and is:

_____ designated as Historic Resource
 _____ not designated as Historic Resource



Submittal is outside the Historic District and

_____ designated as Historic Resource

Historic Survey #: _____

Historic Survey #: _____

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: Vevel Properties, LLC Architect / Designer: Clarke Design Group
 Address: 1032 Chuck Dawley Blvd Contact #: 843/329/0667
Suite 103 email: phil@clarkedesigngroup.com
 email: john@levelbuilding Contractor: Same as Owner + Marsh Contracting
projects.com Contact #: 912/660/6095
 Contact #: 843/412/9226 email: benjamin@marshcontractingsc.com

Enter a Brief Description of the Project and Scope of Work to be Performed:

Existing home on lot to be removed. New Construction to follow.

I (We) submit that the above information is true to the best of My (Our) knowledge.

Owner is not Applicant:
 I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.

PHIL CLARKE

Print Applicant's Name

Fee Received by

Applicant Signature

Owner's Signature

check #

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 3003 BROWNELL AVE.

Submittal Date _____

Meeting Date: _____

BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>15,000</u> sf
Lot Width:	<u>100'</u>
Lot Depth:	<u>150'</u>
Flood Zone / Base Flood Elevation:	<u>VE 17</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>2,680</u> sf
Accessory Building Footprint:	<u>-</u> sf
Total Principal Bldg. Coverage Area:	<u>2,680</u> sf
(Principal Building plus Accessory Structure)	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>2,680</u> sf
Covered Porches:	<u>976</u> sf
Open Decks / Steps:	<u>100</u> sf
Pool / Patio:	<u>527</u> sf
Drives / Walks:	<u>-</u> sf
Other Impervious Coverage	<u>-</u> sf
Total Impervious Coverage	<u>4,343</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>2,180</u> sf
Second Floor	<u>1,302</u> sf
Third Floor	<u>-</u> sf
Accessory Building	<u>-</u> sf
Total Principal Building Square Footage:	<u>4,042</u> sf
(Principal Building plus Accessory Structure)	

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: <u>Tabby</u>	Roof: <u>Metal</u>
Walls: <u>Hardi Artisan Lap</u>	Windows: <u>wood w/ vinyl clad</u>
Trim: <u>Elite Trtd., Primed + Painted</u>	Doors: <u>Manogany / wood w/ vinyl clad</u>

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable (no relief req.)

Request for Review Form (Form B)

Sec. 21-111 Standards of Neighborhood Compatibility

The proposed construction at 3003 Brownell Ave. meets the Standards of Neighborhood Compatibility in regards to the design direction and vernacular for the Lowcountry and Sullivans Island aesthetic.

- A. The setback, foundation, and building height have been designed to break up the mass and provide differing materials and textures along each facade.
- B. The massing is set such that there is a primary mass with wings, balconies, and porches protruding off the main mass in keeping with the proper Lowcountry style.
- C. The fenestration of all glazing materials has been designed to complement the other glazing materials around them. While not all windows and doors perfectly align with the others around it, they have been placed to provide optimum balance and scale. All openings have been designed to have a proper vertical proportion.
- D. Porches have been placed to provide proper balance of the elevations and to capture the best view and angles for the home. Porches have also been placed to not infringe on the privacy of neighboring homes.
- E. The driveway has been placed along the Brownell with one entrance and the proper width as dictated by the Town's codes.
- F. The facades have been designed to break up all large masses and provide architectural interest to each elevation and from all angles.
- G. Varying roof pitches complement each other with a harmonious use of the same Metal Roof material.
- H. The style of this home complements the general design direction of many existing and new homes on Sullivans Island. Differing materials on the elevations will be kept simple with simple and complementary colors.
- I. This home should fit in well with Sullivans Island and especially this end of the island.

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:
 Submittal Date:
 Meeting Date:

3003 Brownell Ave.

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot, Enter Result: <u>15</u> min.; <u>40</u> comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>2,250</u> sf		20% <u>2,700</u> sf	<u>430</u>	<u>16%</u>	<u>2,250 + 430 = 2,680</u>
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>30%</u> sf maximum	✓	N/A	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>3,400</u> sf		25% <u>4,250</u> sf	<u>642</u> SF	<u>15%</u>	<u>3,400 + 642 = 4,042 SF</u>
	I	21-28 Third Story	as per formula: Enter Result _____ sf	N/A	15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result <u>6 FT</u> sf		100%	<u>8 FT</u>		
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf		100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			



GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY CLARKE DESIGN GROUP IMMEDIATELY OF ANY DISCREPANCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.

2. ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS RELATED TO OTHER DISCIPLINES. THE GENERAL CONTRACTOR SHALL CHECK AND COORDINATE DIMENSIONS AND CLEARANCES WITH THE WORK OF ALL TRADES.

3. THE DRAWINGS HEREIN ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO CONVEY ALL INFORMATION NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL COORDINATE SYSTEMS INSTALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIALS REQUIREMENTS FOR INSTALLATION.

RESIDENCE
 3003 BROWNELL AVE.
 SULLIVANS ISLAND, SC

INDEX:

- A101 SITE PLAN
- A103 FIRST FLOOR PLAN
- A104 SECOND FLOOR PLAN
- A201 ELEVATION
- A202 ELEVATION
- A203 ELEVATION
- A204 ELEVATION

5.27.16

RESIDENCE
 3003 BROWNELL AVE, LOT 13, BLOCK 10

CLARKE DESIGN GROUP
 1000 JOHNNIE DODDS BLVD.
 STE. 103-194
 MT. PLEASANT, SC 29464
 843-329-0667
 WWW.CLARKEDESIGNGROUP.COM

CLARKE
 DESIGN GROUP

A100

NOTE: SEDIMENT CONTROL REQUIRED ON ALL SIDES @ PROPERTY LINE. MAXIMUM 20'-0" ACCESS POINT ALLOWED ALONG STREET.

NOTE: SEE LANDSCAPE PLANS FOR FINAL DRAINAGE REQUIREMENTS.

NOTE: TREE PROTECTION REQUIRED AT ALL PROTECTED TREES. INSTALL PER TOWN OF SULLIVANS ISLAND.

NOTE: WETLAND AND SILT FENCE BARRIER. CLARKE DESIGN GROUP, LLC IS NOT RESPONSIBLE FOR THE UPKEEP OF SILT FENCE, TREE PROTECTION OR WETLAND BARRIERS. GENERAL CONTRACTOR IS TASKED WITH THE DUTY OF MANAGING ALL SITE CONDITIONS INCLUDING THE ABOVE BUT NOT LIMITED TO MATERIAL STORAGE, CONTAINMENT OF TRASH AND WIND BLOWN DEBRIS.

NOTE: FINAL GRADING AND DRAINAGE SHALL NOT IMPACT ADJACENT PROPERTIES

NOTE: VE 17 FLOOD ZONE

ZONING STANDARDS COMPLIANCE WORKSHEET
LOT COVERAGE

F: 21-25 PRINCIPAL BUILDING COVERAGE

PERMITTED:
15,000 SF LOT X 15% = 2,250 SF
DRB'S MAX. AUTHORITY FOR RELIEF:
(2,250 x 20%) + 2,250 = 2,700 SF

ACTUAL SF: 2,680 SF (2,680 - 2,250 = 430 SF)

SEEKING VARIANCE FOR 430 SF OR 16% RELIEF

G: 21-26 IMPERVIOUS COVERAGE

AS PER FORMULA: 30% SF MAX.
15,000 SF LOT X 30% = 4,500 SF
ACTUAL IMPERVIOUS COVERAGE CALC = 4,343 SF

H: 21-27 PRINCIPAL BUILDING SQUARE FOOTAGE

PERMITTED:
((15,000-5,000)/100) x 10 + 2400 = 3,400 SF
DRB'S MAX. AUTHORITY FOR RELIEF: 4,250 SF

ACTUAL SF: 4,042 SF (4,042-3,400 = 642 SF)

SEEKING VARIANCE FOR 642 SF OR 15% RELIEF

I: 21-28 THIRD STORY

N/A

BROWNELL AVENUE 80' R/W

6.6

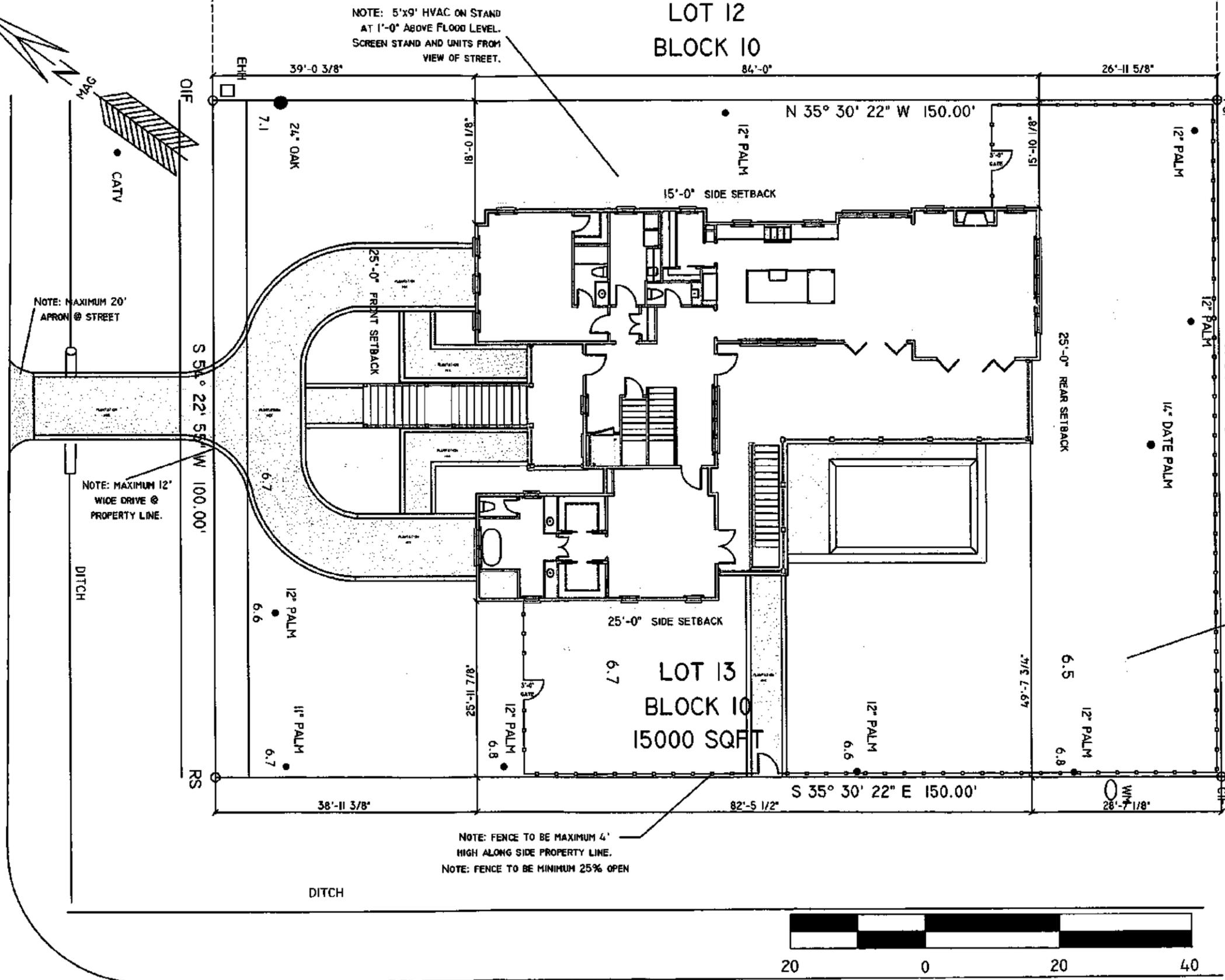
NOTE: 5'x9' HVAC ON STAND AT 1'-0" ABOVE FLOOD LEVEL. SCREEN STAND AND UNITS FROM VIEW OF STREET.

LOT 12
BLOCK 10

LOT 2
BLOCK 10

LOT 1
BLOCK 10

LOT 13
BLOCK 10
15000 SQFT



NOTE: MAXIMUM 20' APRON @ STREET

NOTE: MAXIMUM 12' WIDE DRIVE @ PROPERTY LINE.

NOTE: FENCE TO BE MAXIMUM 4' HIGH ALONG SIDE PROPERTY LINE.
NOTE: FENCE TO BE MINIMUM 25% OPEN

NOTE: DRAIN AWAY FROM HOUSE & NEIGHBORING PROPERTIES

NOTE: FENCE TO BE MAXIMUM 4' HIGH ALONG FIRST 10' AT REAR PROPERTY LINE. AFTER 10' FENCE TO BE MAXIMUM 5' HIGH.



SITE PLAN
SCALE: 1/16" = 1'

5.27.16

RESIDENCE
3003 BROWNELL AVE, LOT 13, BLOCK 10

CLARKE DESIGN GROUP
1000 JOHNNIE DOMOS BLVD.
STE. 103-194
MT. PLEASANT, SC 29464
843-329-0667
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CLARKE
DESIGN GROUP

A101

ELEV. 45'-11 1/2" - TOP OF RIDGE

2x8 CJ
10'-1 1/2" CLG HGT

8'-7" WALL

ELEV. 31'-3" - TOP OF SUBFLOOR
16" OPEN WEB JOIST

10'-1 1/2" WALL

ELEV. 20'-2 5/8" - TOP OF SUBFLOOR
3/4" TJI

11 7/8" DROPPED BEAM
17'-0" - VE 17 FLOOD ZONE

ELEV. 8'-3" - TOP OF GARAGE SLAB
FINAL GRADE



METAL ROOF @ 5/12 PITCH

HARD ARTS&N SIDING AT 0" EXPOSURE

METAL ROOF @ 6/12 PITCH

EXPOSED RAFTER TAILS

HARD ARTS&N SIDING AT 0" EXPOSURE

HORIZONTAL WOOD RAILING

WOOD MOURE BAND WITH COPPER FLASHING

TABBY FINISH OVER BUILT-UP FOUNDATION

RECESSED CARriage DOORS

WOOD STAYS WITH HORIZONTAL RAILING

PROPERTY LINE

15'-0"
SIDE SETBACK

25'-0"
SIDE SETBACK

PROPERTY LINE

FRONT ELEVATION

SCALE: 3/8" = 1'

5.27.16

RESIDENCE
3003 BROWNELL AVE LOT 13, BLOCK 10

CLARKE DESIGN GROUP
1000 JOHNNIE DODDS BLVD.
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CLARKE
DESIGN GROUP

NOTE: HOUSE MEETS FRONT
SETBACK REQUIREMENT. AT
FRONT SETBACK, 20' UP & THEN
CONTINUING UP AT A 45
DEGREE ANGLE, HOUSE DOES
NOT INTERSECT PATH.



25'-0"
FRONT SETBACK

25'-0"
REAR SETBACK

RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'

5.27.16

RESIDENCE
3003 BROWNELL AVE, LOT 13, BLOCK 10

CLARKE DESIGN GROUP
1000 JOHNNIE DODDS BLVD.
STE. 103-194
MT. PLEASANT, SC 29464
843-329-0667
WWW.CLARKEDESIGNGROUP.COM

CLARKE
DESIGN GROUP

A202



REAR ELEVATION

SCALE: 1/8" = 1'

5.27.16



RESIDENCE
3003 BROWNELL AVE, LOT 13, BLOCK 10

CLARKE DESIGN GROUP
1000 JOHNNIE DOODS BLVD.
STE. 103-192
MT. PLEASANT, SC 29404
843-329-0667
WWW.CLARKEDESIGNGROUP.COM

CLARKE
DESIGN GROUP

A203

NOTE: HOUSE MEETS FRONT
SETBACK REQUIREMENT. AT
FRONT SETBACK, 20' UP & THEN
CONTINUING UP AT A 45
DEGREE ANGLE, HOUSE DOES
NOT INTERSECT PATH.



LEFT SIDE ELEVATION
= P

5.27.16

RESIDENCE
3003 BROWNELL AVE, LOT 13, BLOCK 10

CLARKE DESIGN GROUP
1000 JOHNNIE DODDS BLVD.
STE. 103-194
MT PLEASANT, SC 29464
843-329-0667
WWW.CLARKEDESIGNGROUP.COM

L R E

A204

FINAL SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2002 JON AVE

Submittal Date: 5-17-16

Meeting Date: JUNE 15TH

Requested Approval:

Conceptual

Preliminary

Final

Final Review:

All Applicants are strongly encouraged to submit for Conceptual Review prior to submitting for Final Review. Only the simplest of requests is likely to pass final review without having first received Conceptual Approval. Please submit all items as requested. Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.

The following items shall be included in the Final Submittal:

- Application fee (checks payable to Sullivan's Island Design Review Board)
- Completed Application to Sullivan's Island Review Board form (FORM A)
- Completed Sullivan's Island DRB Request for Review form (FORM B)
- Completed Zoning Standards Compliance Worksheet (FORM C)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint, illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines, and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Location of HVAC/ Equipment stands and electrical meter
 - Driveways, guest parking, garage back-up areas
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior dimensions for exterior walls and porches
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Additional front yard setback shown on both side elevations for clarity.
 - Optional:
 - 3-D perspective sketches and / or models are encouraged.
 - Any relevant photographs or documentation that might be descriptive.

Sullivan's Island Design Review Board

last modified January 2016

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2002 Iron Ave

Submittal Date: 5-17-16

Meeting Date: JUNE 15th

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in FL/Sq. FL	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')	N/A		
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%	N/A		
	C	21-22 Side Setback	Per lot: Enter Result: ____ min.; ____ comb.	✓	25%	N/A		
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%	N/A		
	E	21-22 Rear Setback	25 feet	✓	None	N/A		
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>3403.5</u> sf		20% <u>4084</u> sf	<u>286.5</u>	<u>8.5</u>	<u>3690</u>
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>30%</u> sf maximum	✓	N/A	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4169</u> sf		25% <u>5211</u> sf	<u>811</u>	<u>19.5</u>	<u>4980</u>
	I	21-28 Third Story	as per formula: Enter Result ____ sf	✓	15% ____ sf	N/A		
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result ____ sf	✓	100%	N/A		
	K	21-29 Principal Building Side Façade	as per formula: Enter Result ____ sf	✓	100%	N/A		
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility	N/A		
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot	N/A		
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility	N/A		
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility	N/A		

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2002 JON AVE

Submittal Date: 5-17-16

Meeting Date: JUNE 15th

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet: 22,690 sf
 Lot Width: 105.05
 Lot Depth: 209.69
 Flood Zone / Base Flood Elevation: VE1b

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint: 3690 sf
 Accessory Building Footprint: _____ sf
 Total Principal Bldg. Coverage Area: 3690 sf
 (Principal Building plus Accessory Structure)

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area: 4522 sf
 Covered Porchas: _____ sf
 Open Decks / Steps: _____ sf
 Pool / Patio: _____ sf
 Drives / Walks: 1140 sf
 Other Impervious Coverage: _____ sf
 Total Impervious Coverage: 5662 sf

Sec. 21-27 Principal Building Square Footage

First Floor: 2722 sf
 Second Floor: 1290 sf
 Third Floor: _____ sf
 Accessory Building: Attached Studio 968 sf
 Total Principal Building Square Footage: 4980 sf
 (Principal Building plus Accessory Structure)

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: _____

Roof: _____

Walls: _____

Windows: _____

Trim: _____

Doors: _____

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

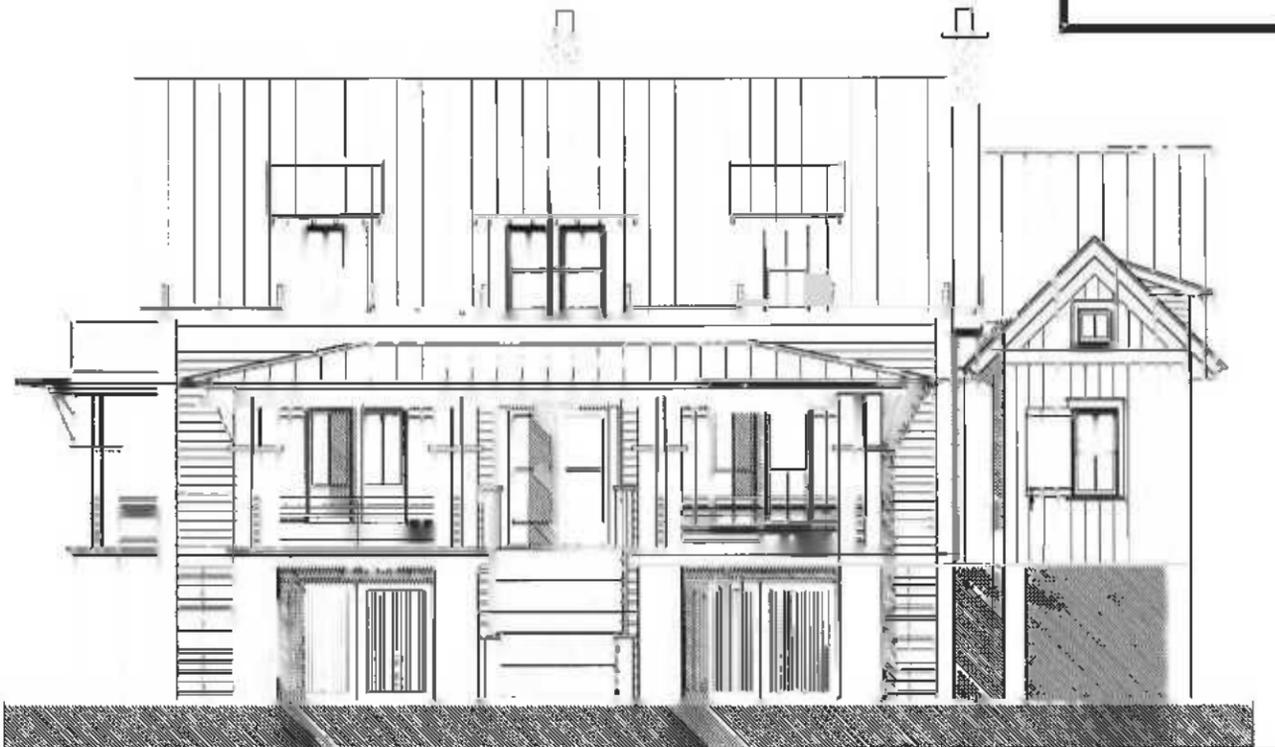
(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

NOT FOR
CONSTRUCTION



- GENERAL NOTES:
1. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK
 2. USE OF SAFE METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIALS IS CONTRACTOR'S RESPONSIBILITY.
 3. CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C-90 GRADE N-1, TYPE 1, COMPRESSIVE STRENGTH OF MASONRY SHALL BE 1000 PSI (MIN.) OF THE CROSS AREA.
 4. PIER MASONRY CORES SHALL BE FILLED WITH 3000 PSI GROUT AND SHALL CONFORM TO ASTM C-478. GROUT MIX SHALL HAVE 3/8" MIN. SIZE AGGREGATE WITH A MAX. SLUMP OF 8". (MORTAR MAY NOT BE USED)
 5. ALL REINFORCING BARS SHALL CONFORM TO ASTM SPEC. A615 GRADE 60.
 6. CAST-IN-PLACE CONCRETE SHALL BE NORMAL WEIGHT AND HAVE A MIN COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. LIMIT SLUMP TO 4" MAX. MINIMUM COVER FOR REBARS SHALL BE 3".
 7. PROVIDE METAL FLASHING AT ALL TYPICAL FLASHING LOCATIONS.
 8. ALL STRUCTURAL WOOD TO BE #2 SR SOUTHERN PINE (19MM) WITH Fb=1400 PSI, E=1,400,000 PSI, AND E+1,400,000 PSI UNLESS OTHERWISE NOTED.
 9. ALL FASTENERS SHALL BE COMMON OR HOT DIPPED GALVANIZED BOX NAILS. NAILING PATTERNS SHALL CONFORM TO STANDARD BUILDING CODE REQUIREMENTS FOR FLOOD AREA. STEEL PLATES SHALL BE ASTM A-36 AND BOLTS SHALL BE A-325.
 10. ALL WINDOWS, DOORS, & VENTS TO MEET WIND LOAD REQUIREMENTS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 11. ALL WALLS, STEPS, AND GARAGE DOORS BELOW FLOOD LEVEL TO BE CLASS 4 OR 5.
 12. ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURE SPECS. SEE MANUFACTURE'S SHDP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS.
 13. ALL EXTERIOR MATERIALS- SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC, AND ROOFING - SHALL BE INSTALLED PER MANUFACTURE'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHDP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEE THE INSTALLATION AND OR APPLICATION.
 14. PROVIDE OBL. JSTIS. UNDER WALLS.
 15. PARALAM BEAMS (P-LAM) TO BE SIZED BY MNFR.
 16. WINDOW AND DOOR HEADERS TO BE 2- SYP #2 2x10x W/ 1/2" PLYWOOD BETWEEN, G.L.D. & H.L.O. (UNLESS OTHERWISE NOTED.)
 17. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS INSTALLED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHDP DRAWINGS FOR ALL INSTALLED ITEMS.

- CONTENTS
1. COVER
 2. SITE PLAN
 3. GARAGE PLAN
 4. FIRST FLOOR PLAN
 5. SECOND FLOOR PLAN
 6. ROOF PLAN
 7. FRONT ELEVATION
 8. RIGHT ELEVATION
 9. REAR ELEVATION
 10. LEFT ELEVATION
 11. BLDG. SECTION
 12. PORCH DETAIL
 13. EAVE DETAIL
 14. EXTERIOR DETAILS
 15. EXTERIOR DETAILS
 16. INTERIOR DETAILS
 17. DETAILS AND NOTES
 - E1. GARAGE ELECTRICAL PLAN
 - E2. FIRST FLOOR ELECTRICAL PLAN
 - E3. SECOND FLOOR ELECTRICAL PLAN

DATE
5-8-16

REVISIONS

SQUARE FOOTAGE
FIRST FLOOR 2722 sq.ft.
SECOND FLOOR 1298 sq.ft.
STUDIO 668 sq.ft.
TOTAL HEATED 4688 sq.ft.



M3 DESIGN INC.
CARL PFCATTS
845 - 971 - 1751
m3design@comcast.net

THIS DRAWING IS A PART OF A SET OF 24"x36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET

PROJECT
2002 ION AVE.
SULLIVAN'S ISLAND, SC
SHEET NAME
0000000

SHEET
1

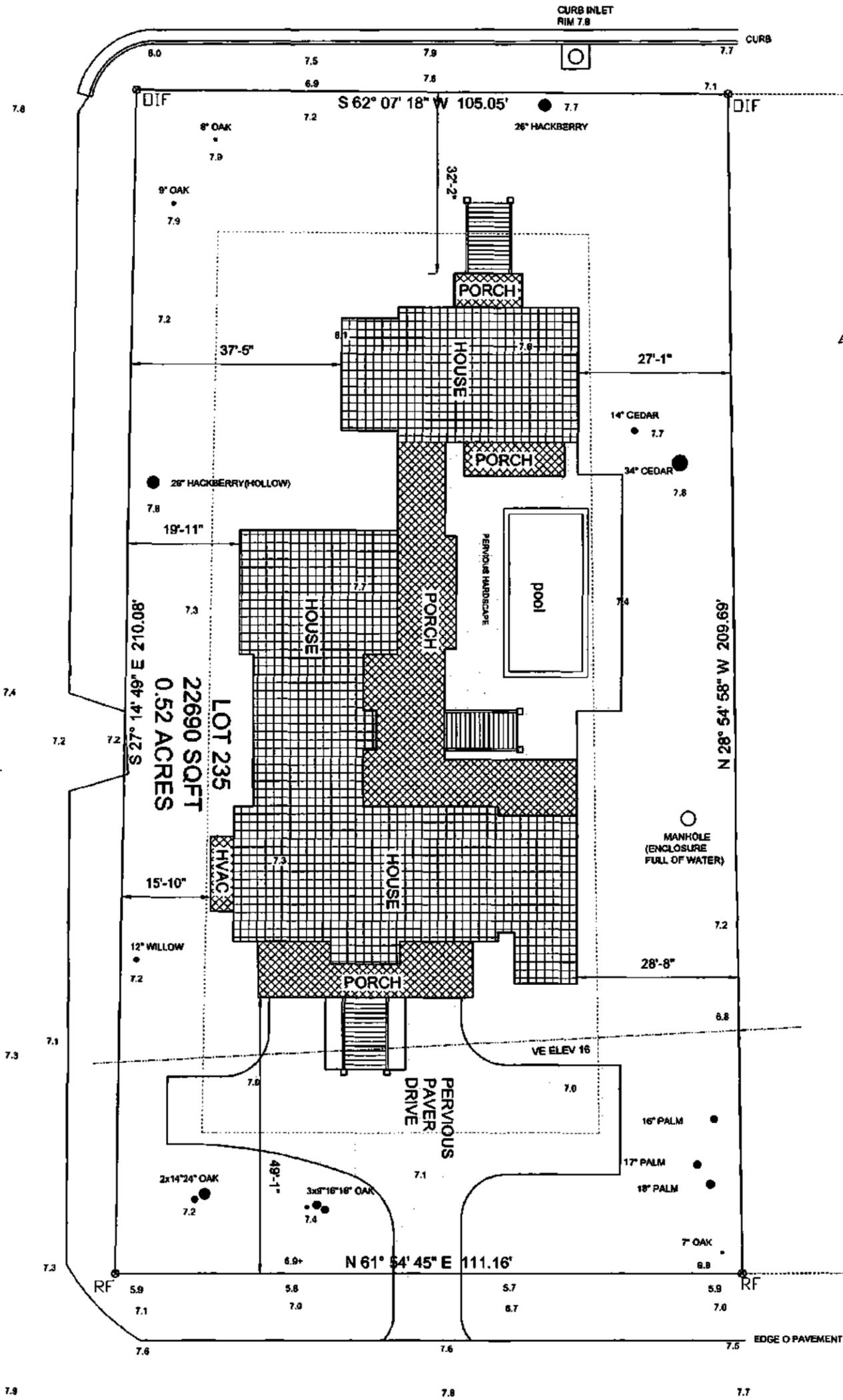
● BENCHMARK
NAIL & CAP
ELEV 7.98 NGVD29

MIDDLE STREET 60' R/W

7.9

LOT COVERAGE
LOT SIZE: 22,890 SQ.FT.
SEC. 21-23 PRINCIPAL BUILDING COVERAGE AREA
ALLOWED 17% = 3,891 SQ.FT.
PROPOSED 19% = 4,349 SQ.FT. (19% CAN GRANT 20% - 4,548 SQ.FT.)
SEC. 21-28 IMPERVIOUS COVERAGE AREA
ALLOWED 30% = 6,867 SQ.FT.
PROPOSED 34% = 7,783 SQ.FT. (HOUSE 5260 SQ.FT., DRIVEWAY 1140 SQ.FT.)
SEC. 21-27 PRINCIPAL BUILDING SQUARE FOOTAGE
ALLOWED 418 SQ.FT.
PROPOSED 480 SQ.FT. (19% CAN GRANT 20% - 5211 SQ.FT.)

STATION 20 40' R/W



LOT 236

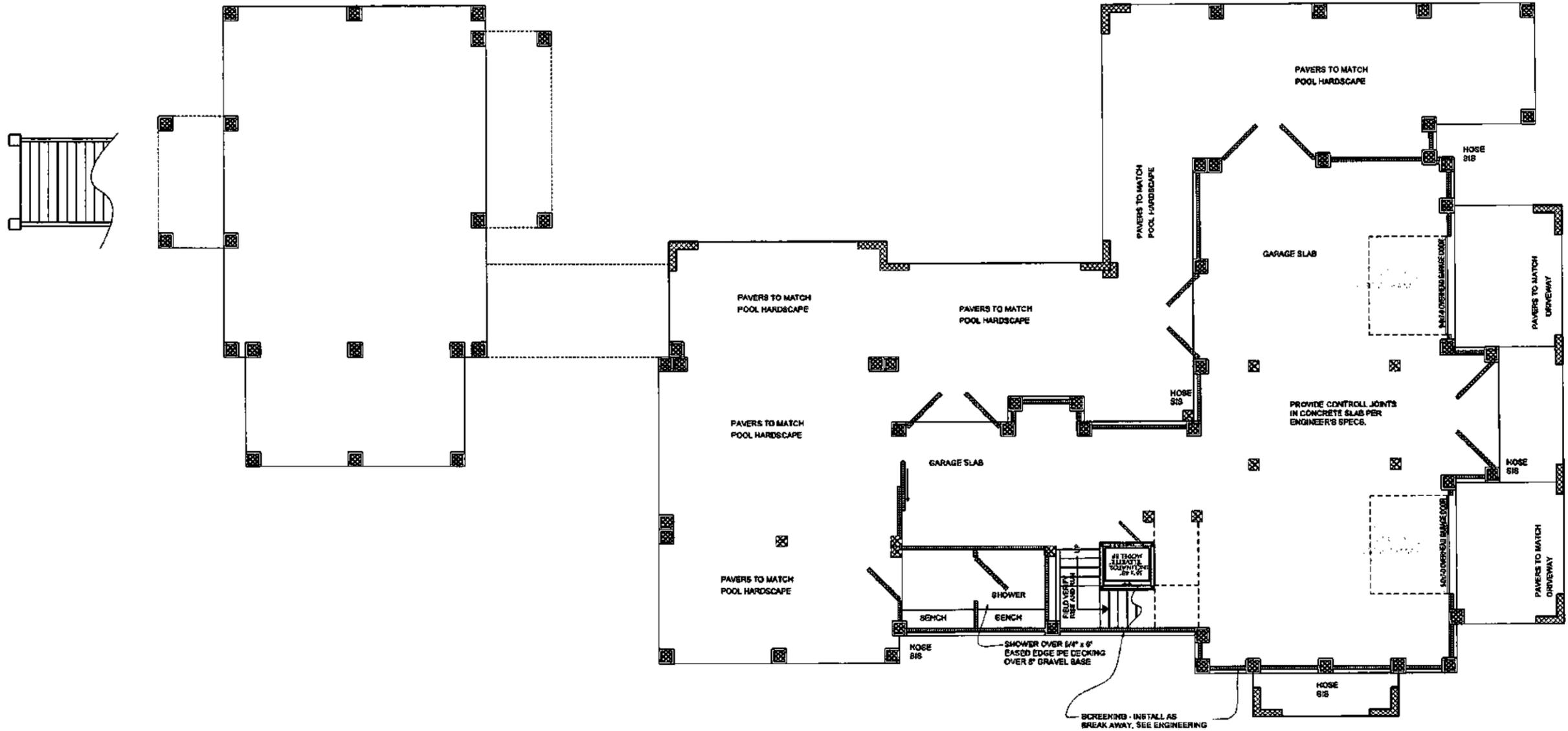
DRB SET
NOT FOR
CONSTRUCTION

ION AVENUE 40' R/W

*** THIS DRAWING IS A PART OF A SET OF 24" x 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET ***

2 SHEET	PROJECT 2002 ION AVE. SULLIVAN'S ISLAND, SC SHEET NAME 0000000		SQUARE FOOTAGE FIRST FLOOR 2722 sq.ft. SECOND FLOOR 1290 sq.ft. STUDIO 968 sq.ft. TOTAL HEATED 4980 sq.ft.	REVISIONS	DATE 5-8-16
	<p>*** THIS PLAN IS PROPERTY OF M3 DESIGNS LLC. UNAUTHORIZED USE IS PROHIBITED ***</p>				

**DRB SET
NOT FOR
CONSTRUCTION**



GARAGE PLAN
1/4" = 1'-0"

DATE
5-8-16

REVISIONS

SQUARE FOOTAGE
FIRST FLOOR 2722 sq.ft.
SECOND FLOOR 1250 sq.ft.
STUDIO 918 sq.ft.
TOTAL HEATED 4890 sq.ft.

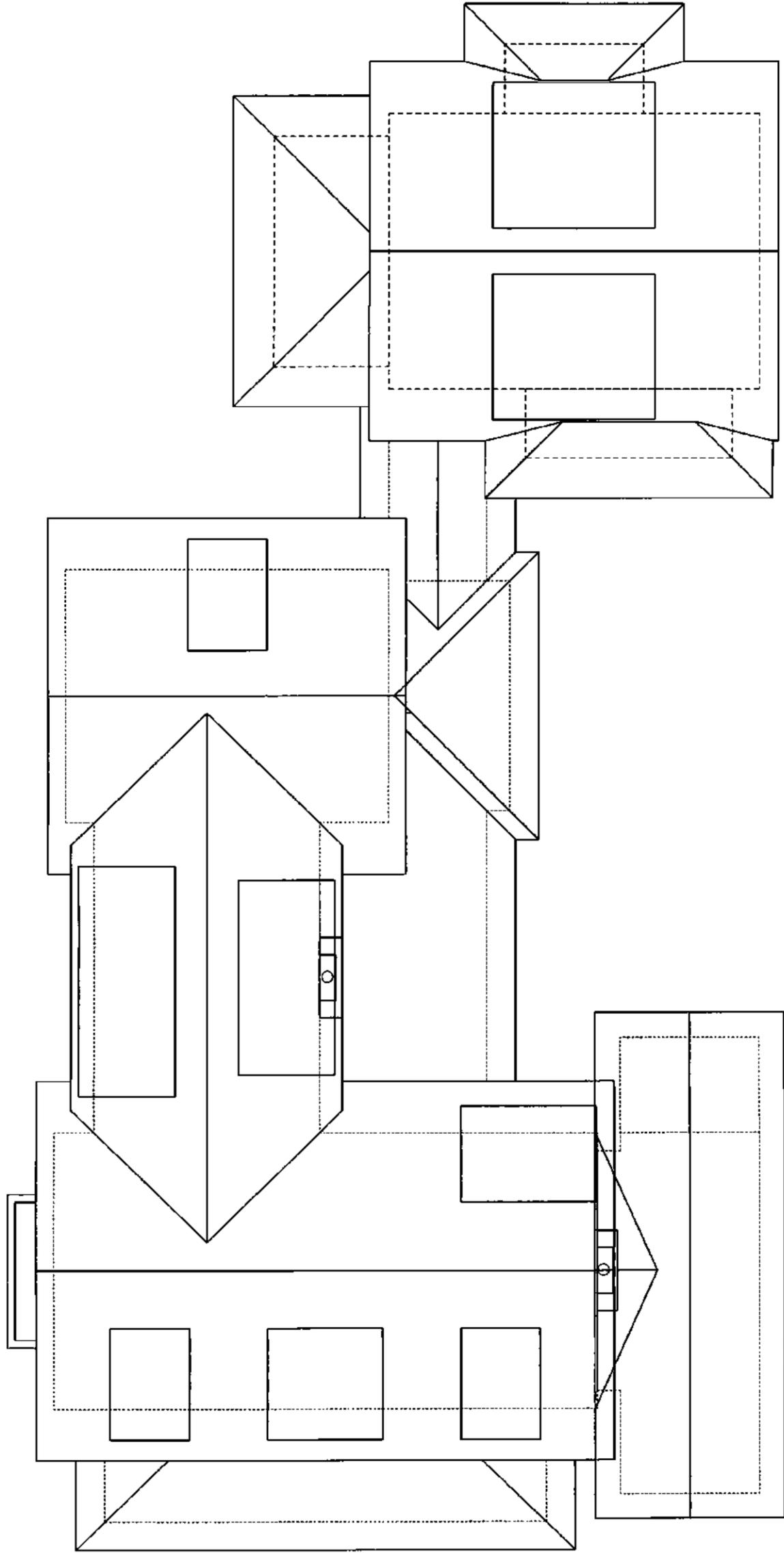


M&D ARCHITECTS, P.C.
CAROL PRICHTER
843 - 971 - 1751
m&darchitects.com

PROJECT
2002 10th AVE.
SULLIVANS ISLAND, SC
SHEET NAME
GARAGE PLAN

SHEET
3

THIS DRAWING IS A PART OF A SET OF 24" x 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET. THIS PLAN IS PROPERTY OF M&D DESIGNS LLC. UNAUTHORIZED USE IS PROHIBITED.



DRB SET
NOT FOR
CONSTRUCTION

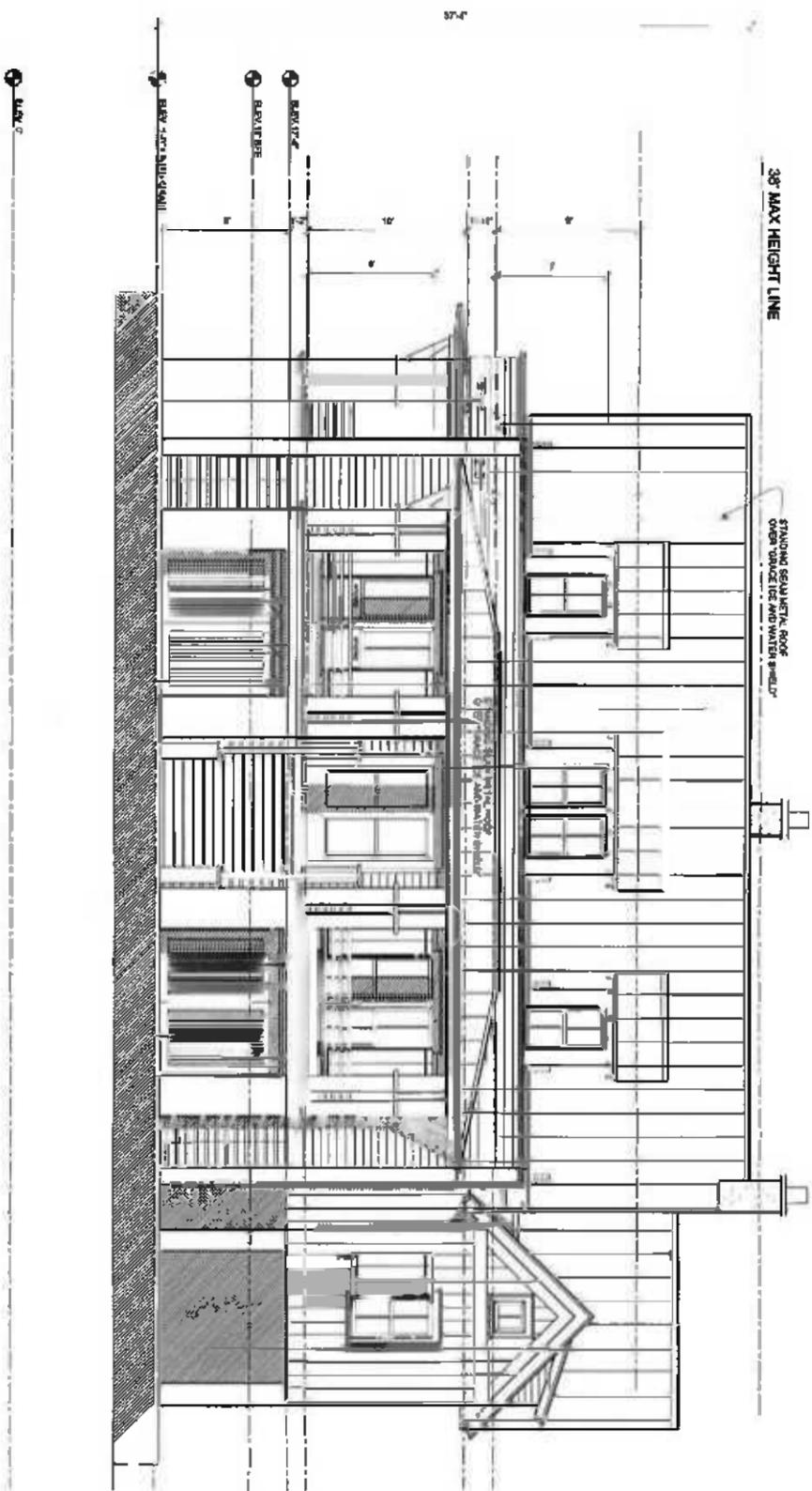
ROOF PLAN
1/4" = 1'-0"

*** THIS DRAWING IS A PART OF A SET OF 24" x 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET ***

<p style="font-size: 24pt; font-weight: bold;">6</p> <p style="font-size: 8pt;">SHEET</p>	<p style="font-size: 8pt; margin: 0;">PROJECT 2002 NON AVE. SULLIVAN'S ISLAND, SC SHEET NAME ROOF PLAN</p>	<p style="font-size: 8pt; margin: 0;">M3 DESIGN LLC CRAIG MCNEIL 843 - 971 - 1131 info@m3design.com</p>	<p style="font-size: 8pt; margin: 0;">SQUARE FOOTAGE FIRST FLOOR 2722 sq.ft. SECOND FLOOR 1290 sq.ft. STUDIO 968 sq.ft. TOTAL HEATED 4980 sq.ft.</p>	<p style="font-size: 8pt; margin: 0;">REVISIONS</p>	<p style="font-size: 8pt; margin: 0;">DATE 5-6-18</p>
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*** THIS PLAN IS PROPERTY OF M3 DESIGN LLC, UNAUTHORIZED USE IS PROHIBITED ***

DRB SET
NOT FOR
CONSTRUCTION



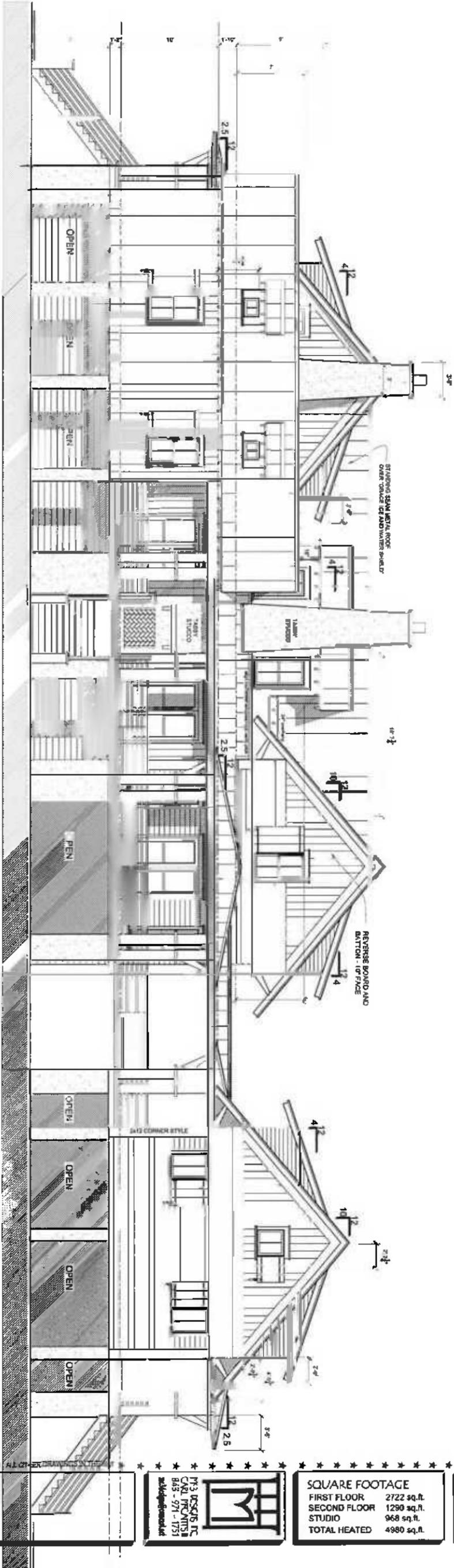
front elevation
1/4" = 1'-0"

*** THIS DRAWING IS A PART OF A SET OF 24" x 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET ***

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<p>SHEET 7</p>	<p>PROJECT 2002 MON AVE. SULLIVAN'S ISLAND, SC SHEET NAME FRONT ELEVATION</p>	<p>R&J DESIGNS LLC ONE MCANISSE 8455 - 971 - 1751 info@rjdesigns.com</p>	<p>SQUARE FOOTAGE FIRST FLOOR 2722 sq.ft. SECOND FLOOR 1290 sq.ft. STUDIO 968 sq.ft. TOTAL HEATED 4980 sq.ft.</p>	<p>REVISIONS</p>	<p>DATE 3.6.16</p>
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DRB SET
NOT FOR
CONSTRUCTION



right elevation
1/4" = 1'-0"

DATE
5-6-16

REVISIONS

NO.	DESCRIPTION

SQUARE FOOTAGE

FIRST FLOOR	2722 sq.ft.
SECOND FLOOR	1290 sq.ft.
STUDIO	968 sq.ft.
TOTAL HEATED	4980 sq.ft.

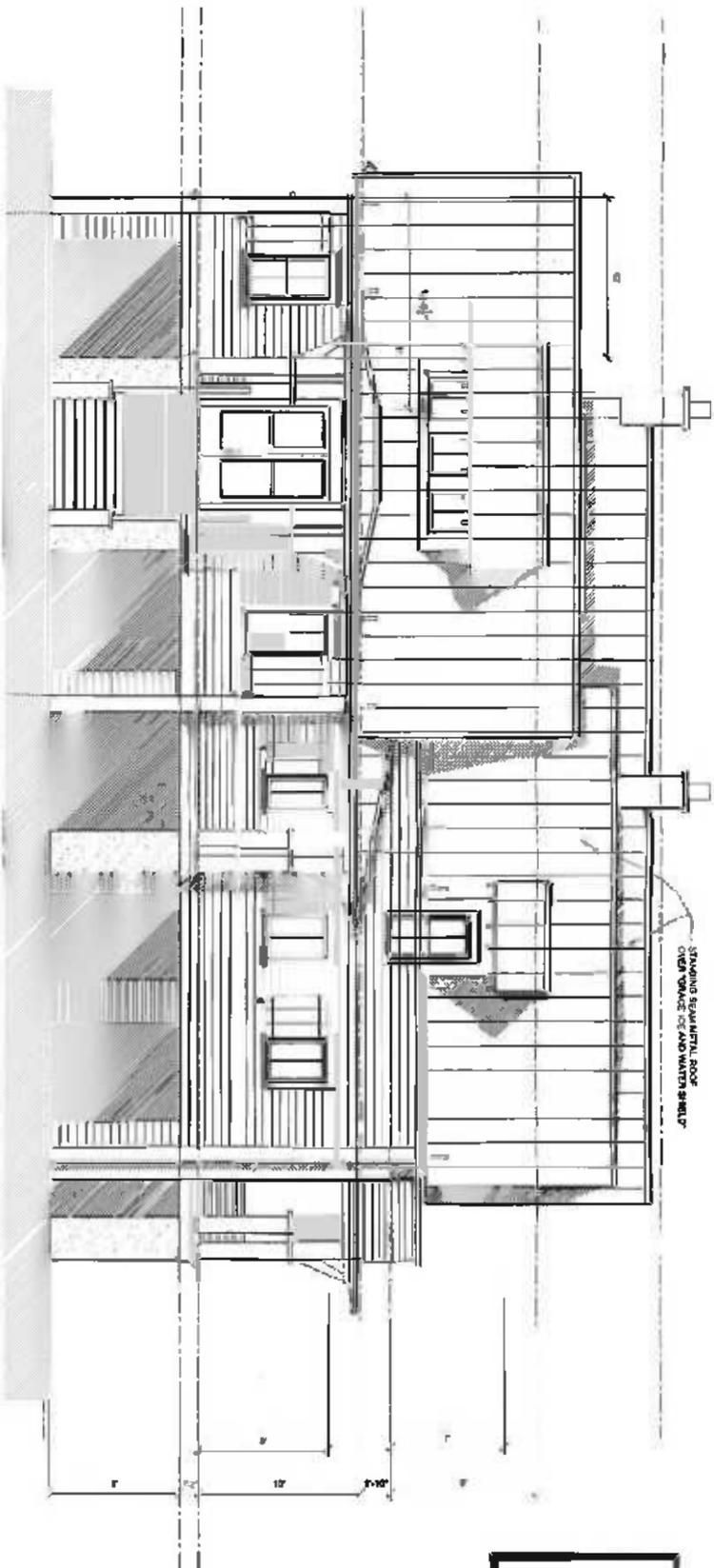
M3 DESIGNS, LLC
CRAIG MCINTOSH
815 - 571 - 1751
m3designs@comcast.net

PROJECT
2002 ION AVE.
SULLIVAN'S ISLAND, SC
SHEET NAME
RIGHT SIDE ELEVATION

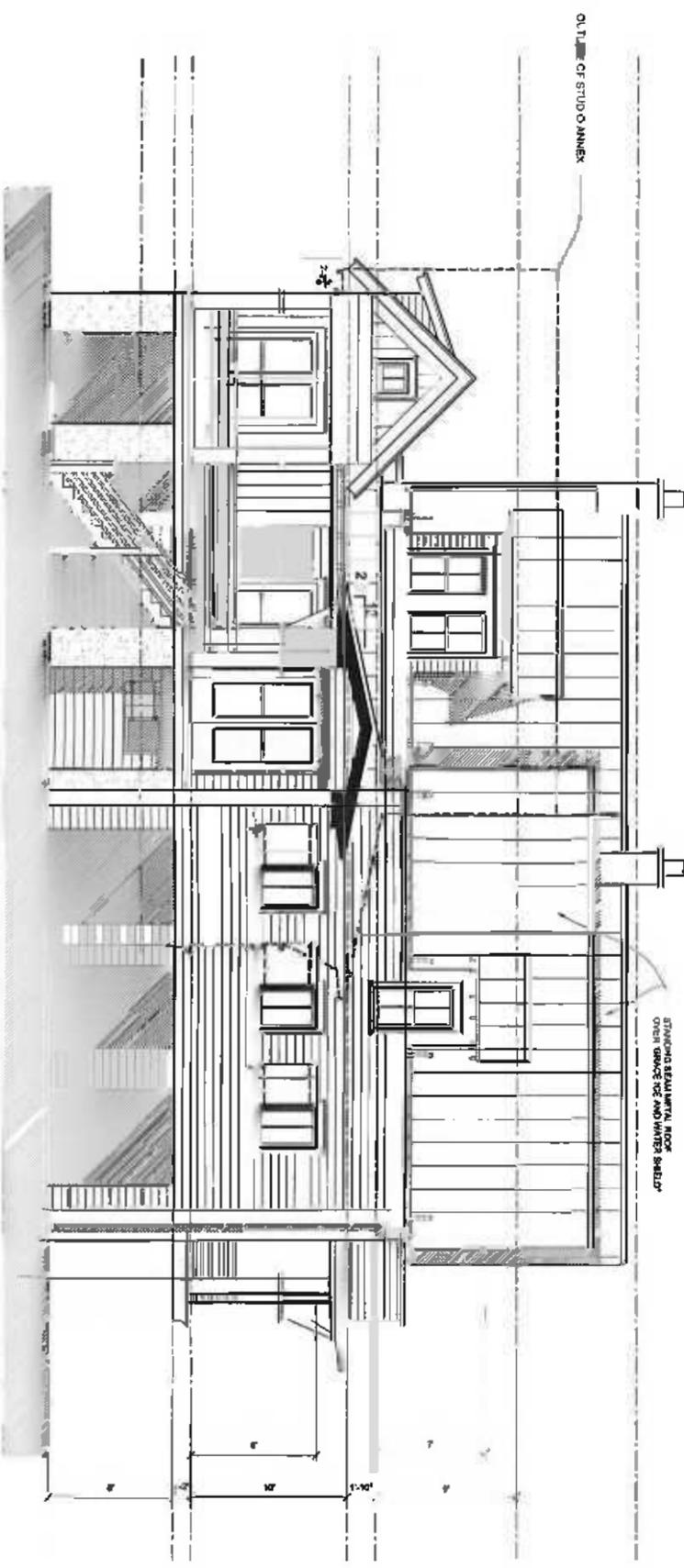
8 SHEET

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DRB SET
NOT FOR
CONSTRUCTION



rear elevation
1/4" = 1'-0"



rear elevation - shown without annex
1/4" = 1'-0"

DATE
5-8-16

REVISIONS

SQUARE FOOTAGE	
FIRST FLOOR	2722 sq.ft.
SECOND FLOOR	1290 sq.ft.
STUDIO	988 sq.ft.
TOTAL HEATED	4980 sq.ft.

M3 RESQTS, LLC
CARL PRECANTO, R
BLS - 971 - 1751
Architectural

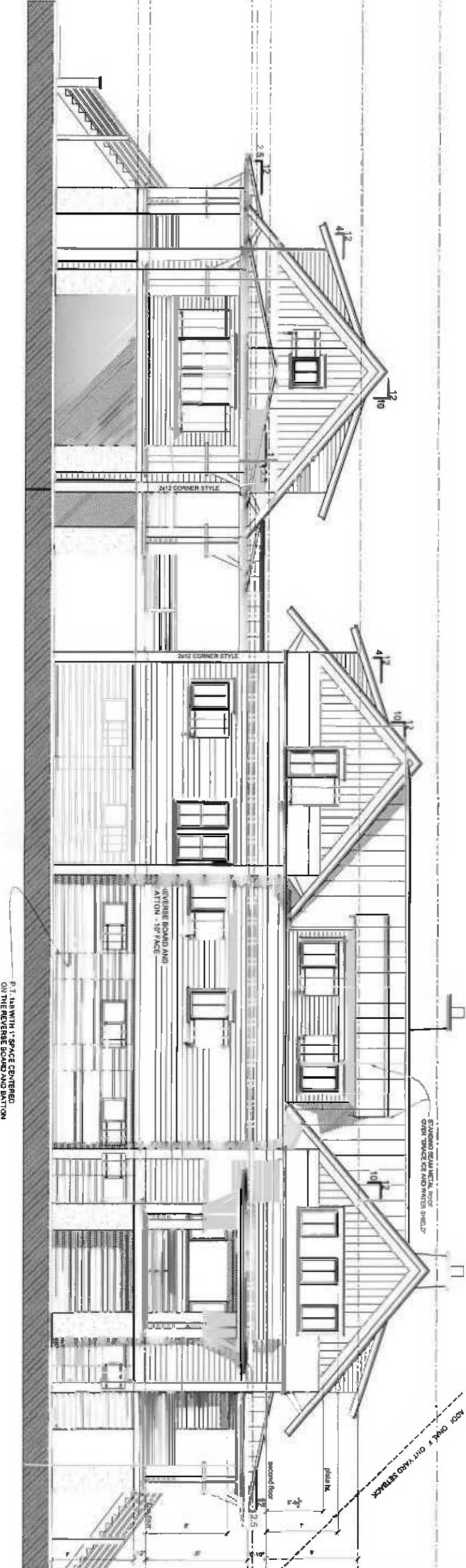
PROJECT
2002 ION AVE.
SULLIVAN'S ISLAND, SC
SHEET NAME
REAR ELEVATION

6 SHEET

*** THIS DRAWING IS A PART OF A SET OF 24" x 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET ***

*** THIS PLAN IS PROPERTY OF M3 DESIGNS LLC. UNAUTHORIZED USE IS PROHIBITED ***

DRB SET
NOT FOR
CONSTRUCTION

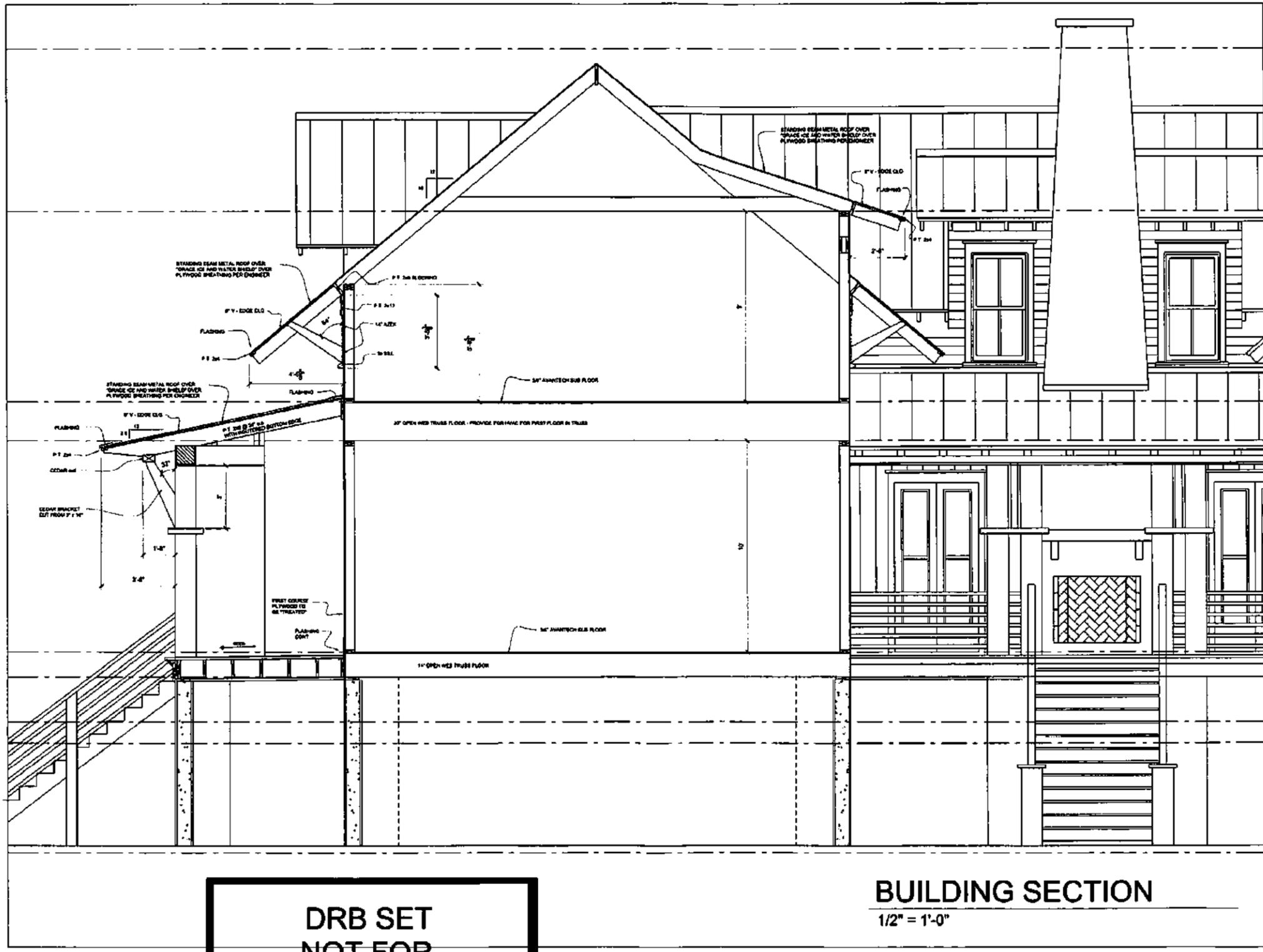


P.T. 1/4" WITH 1" SPACE CENTERED
ON THE REVERSE BOARD AND BATTON

left elevation
1/4" = 1'-0"

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<p>10</p> <p>HEE</p>	<p>PROJECT 2002 ION AVE. SULLIVAN'S ISLAND, SC</p>	<p>M&S DESIGNS LLC QUALITY CUSTOMER SERVICE 843-771-1751 m&sdesigns.com</p>	<p>SQUARE FOOTAGE</p> <p>FIRST FLOOR 2722 sq.ft. SECOND FLOOR 1290 sq.ft. STUDIO 968 sq.ft. TOTAL HEATED 4980 sq.ft.</p>	<p>REVISIONS</p>	<p>DATE 5-6-15</p>
	<p>SHEET NAME LEFT SIDE ELEVATION</p>				



**DRB SET
NOT FOR
CONSTRUCTION**

BUILDING SECTION
1/2" = 1'-0"

★ ★ THIS DRAWING IS A PART OF A SET OF 24" x 36" DRAWINGS AND SHALL NOT BE USED WITH OUT ALL OTHER DRAWINGS IN THE SET ★ ★

DATE 5-8-18	REVISIONS	SQUARE FOOTAGE	 M3 DESIGNS INC. CARL MCANULTY 845 - 971 - 1751 mc3design@gmail.com
PROJECT 2002 10th AVE. SULLIVAN'S ISLAND, SC			SHEET NAME BLDG. SECTION
SHEET 11			