

PATRICK M. O'NEIL  
MAYOR

# TOWN OF SULLIVAN'S ISLAND

ANDY BENKE  
TOWN ADMINISTRATOR

TOWN COUNCIL  
CHAUNCEY CLARK, MAYOR PRO TEM  
SARAH CHURCH  
MARK HOWARD  
RITA LANGLEY  
SUSAN MIDDGAUGH  
BACHMAN SMITH, IV



JASON BLANTON  
DEPUTY ADMINISTRATOR/COMPTROLLER

LAWRENCE A. DODDS  
TOWN ATTORNEY

GREG GRESS  
WATER AND SEWER MANAGER

JOE HENDERSON  
ZONING ADMINISTRATOR

DANIEL HOWARD  
CHIEF OF POLICE

ELLEN MILLER  
TOWN CLERK

RANDY ROBINSON  
BUILDING OFFICIAL

M. ANTHONY STITH  
FIRE CHIEF

## DESIGN REVIEW BOARD

Wednesday, October 19, 2016 - 6:00 P.M.  
Town Hall

- A. CALL TO ORDER
- B. APPROVAL OF MINUTES FROM SEPTEMBER 21, 2016
- C. CERTIFICATES OF APPROPRIATENESS—HISTORIC PROPERTIES
  - 1. 1738 Middle Street: Beau Clowney Architects, applicants, request final approval for historic restoration, addition, and pool on a property designated as a Sullivan's Island Landmark. Modifications are requested from the zoning standards for required side setbacks. (TMS# 523-08-00-044)
- D. SPECIAL EXCEPTIONS
  - 1. 2850 Jasper Boulevard: Beau Clowney Architects, applicants, request final approval of historic restoration plans for a designated Traditional Island Resource and conceptual approval for the RS District Historic Special Exception in accordance with Z.O. §21-20 C. (2). (TMS# 529-07-00-030)
- E. NON-HISTORIC PROPERTY DESIGN REVIEW
  - 1. 2830 Harvey Street: Heather Wilson Architects, applicants, request conceptual approval for an addition to a single-family home and modification of the zoning standards for principal building coverage and principal building square footage. (TMS# 529-11-00-052)
  - 2. 2112 Atlantic Avenue: Charlie Miraziz, of Herlong and Associates, requests approval to convert attic space into heated and cooled space and modification of the zoning standards for principal building square footage and third story area increase. (TMS# 529-09-00-062)
  - 3. 3020 I'On Avenue: Sammy Rhodes, applicant, requests approval to convert attic space into heated and cooled space and modification of the zoning standards for principal building square footage. (TMS# 529-12-00-037)
- F. PUBLIC INPUT
- G. ADJOURN

# APPLICATION TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 1738 MIDDLE STREET  
 Submittal Date: 9/23/16  
 Meeting Date: 10/19/16 Parcel I.D. (TMS#): 523-08-00-044

Requested Approval (check ONE)     Conceptual     Preliminary     Final

Check one:

<input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input checked="" type="checkbox"/> Submittal is <i>within</i> the Historic District and is: <u>  X  </u> designated as Historic Resource <u>      </u> not designated as Historic Resource  Historic Survey #: <u>252</u>	<input type="checkbox"/> Submittal is <i>outside</i> the Historic District and  <u>      </u> designated as Historic Resource  Historic Survey #: _____
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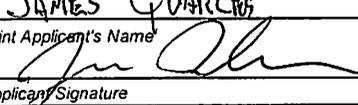
Nature of Work: (circle all that apply)

Accessory Structure   
  Demolition   
  Relocation   
  Addition / Alteration   
  New Construction

Owner's Name: <u>DAWN &amp; ANNE GLASSBURN</u>	Architect / Designer: <u>BEAU CLOWNEY ARCHITECTS</u>
Address: <u>46 HOPE TOWN RD.</u>	Contact #: <u>843.722.2040</u>
<u>MT. PLEASANT, SC 29461</u>	email: <u>JAMES@BEAUCLOWNEY.COM</u>
email: <u>DDG46@ME.COM</u>	Contractor: _____
Contact #: <u>843.324.3033</u>	Contact #: _____
	email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:

RENOVATIONS AND ADDITIONS TO EXISTING HISTORIC HOUSE. NEW ADDITIONS TO BE WOOD FRAMED  
NEW IN GROUND POOL AND DETACHED GARAGE WILL BE ADDED

I (We) submit that the above information is true to the best of My (Our) knowledge.  <u>JAMES QUARLES</u> Print Applicant's Name  Applicant Signature	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.  _____ Owner's Signature	Fee Received by _____ check #
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# REQUEST FOR REVIEW FORM (FORM B)

## Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 1738 MIDDLE STREET

Submittal Date: 9/23/16

Meeting Date: 10/19/16

### BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>14,343</u> sf
Lot Width:	<u>84'</u>
Lot Depth:	<u>199'</u>
Flood Zone / Base Flood Elevation:	<u>AE 14</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>1,712</u> sf
Accessory Building Footprint:	<u>228</u> sf
Total Principal Bldg. Coverage Area: (Principal Building plus Accessory Structure)	<u>1,940</u> sf

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>1,211</u> / <u>1,940</u> sf
Covered Porches:	<u>345</u> / <u>789</u> sf
Open Decks / Steps:	<u>43</u> / <u>85</u> sf
Pool / Patio:	<u>420</u> sf
Drives / Walks:	<u>1101</u> sf
Other Impervious Coverage	_____ sf
Total Impervious Coverage	<u>4335</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>1,211</u> ex / <u>1,940</u> sf
Second Floor	<u>898</u> ex / <u>898</u> sf
Third Floor	_____ sf
Accessory Building	_____ sf
Total Principal Building Square Footage: (Principal Building plus Accessory Structure)	<u>2,109</u> ex / <u>2,838</u> sf

Sec. 21-26 B.3. GARAGE EXCEPTION: 6425F

### EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

\* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: <u>EXISTING BRICK / CMU STUCCO PIERS</u>	Roof: <u>EXISTING ASPHALT / STANDING SEAM</u>
Walls: <u>RESTORED WOOD / NEW CEDAR TO MATCH</u>	Windows: <u>EXISTING / LAND WOOD</u>
Trim: <u>PAINTED WOOD</u>	Doors: <u>WOOD</u>

### Sec. 21-111 Standards of Neighborhood Compatibility

**NOTE:** Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.

(check all that apply)     Narrative attached     Will discuss at presentation     Not Applicable

# ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

## Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: \_\_\_\_\_

Submittal Date: \_\_\_\_\_

Meeting Date: \_\_\_\_\_

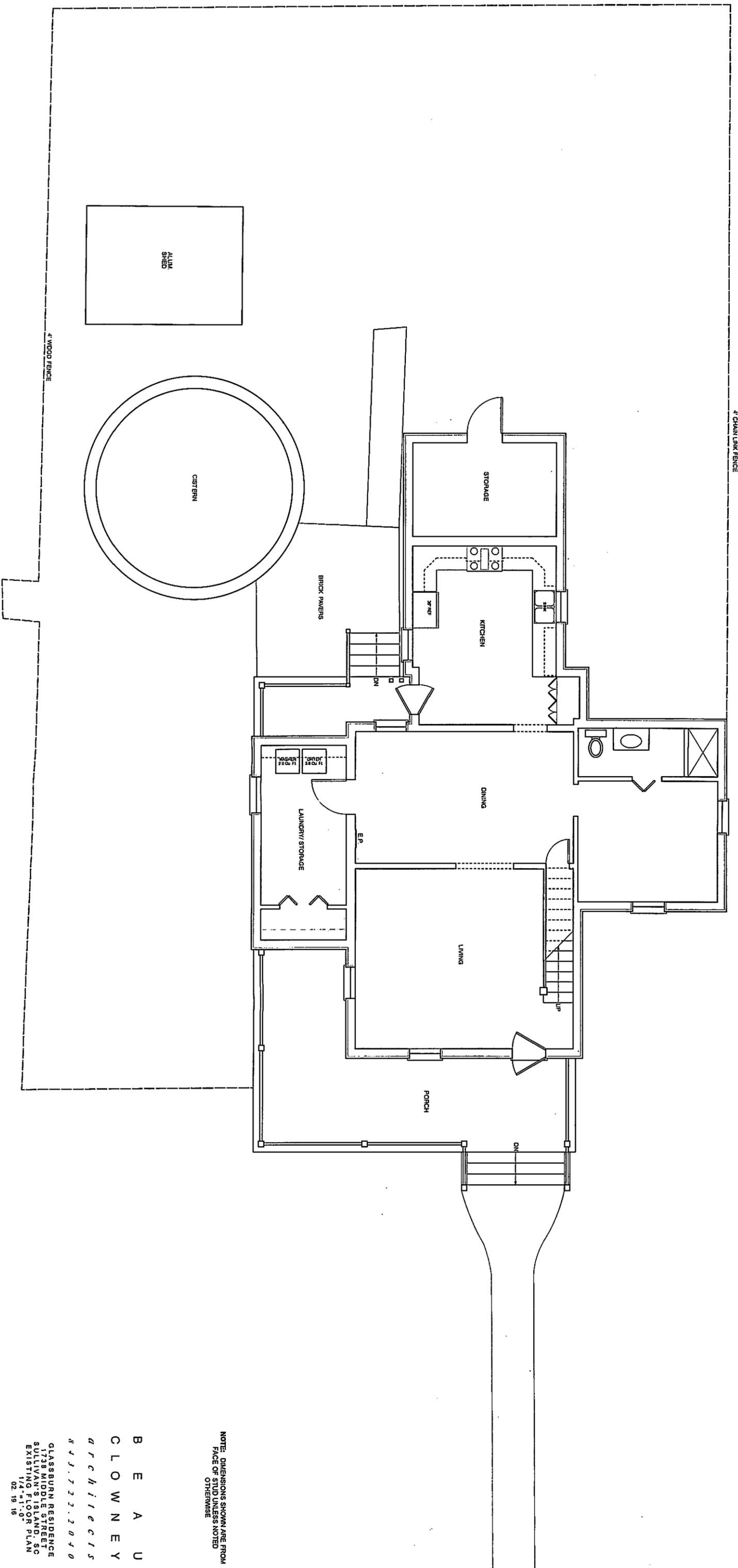
1738 MIDDLE STREET

9/23/16

10/19/16

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: <u>10</u> min.; <u>32</u> comb.		25%	8'	25%	
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>2184</u> sf	✓	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>4335</u> sf	✓	20% _____ sf			
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>3334</u> sf	✓	25% _____ sf			
	I	21-28 Third Story	as per formula: Enter Result _____ sf		15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

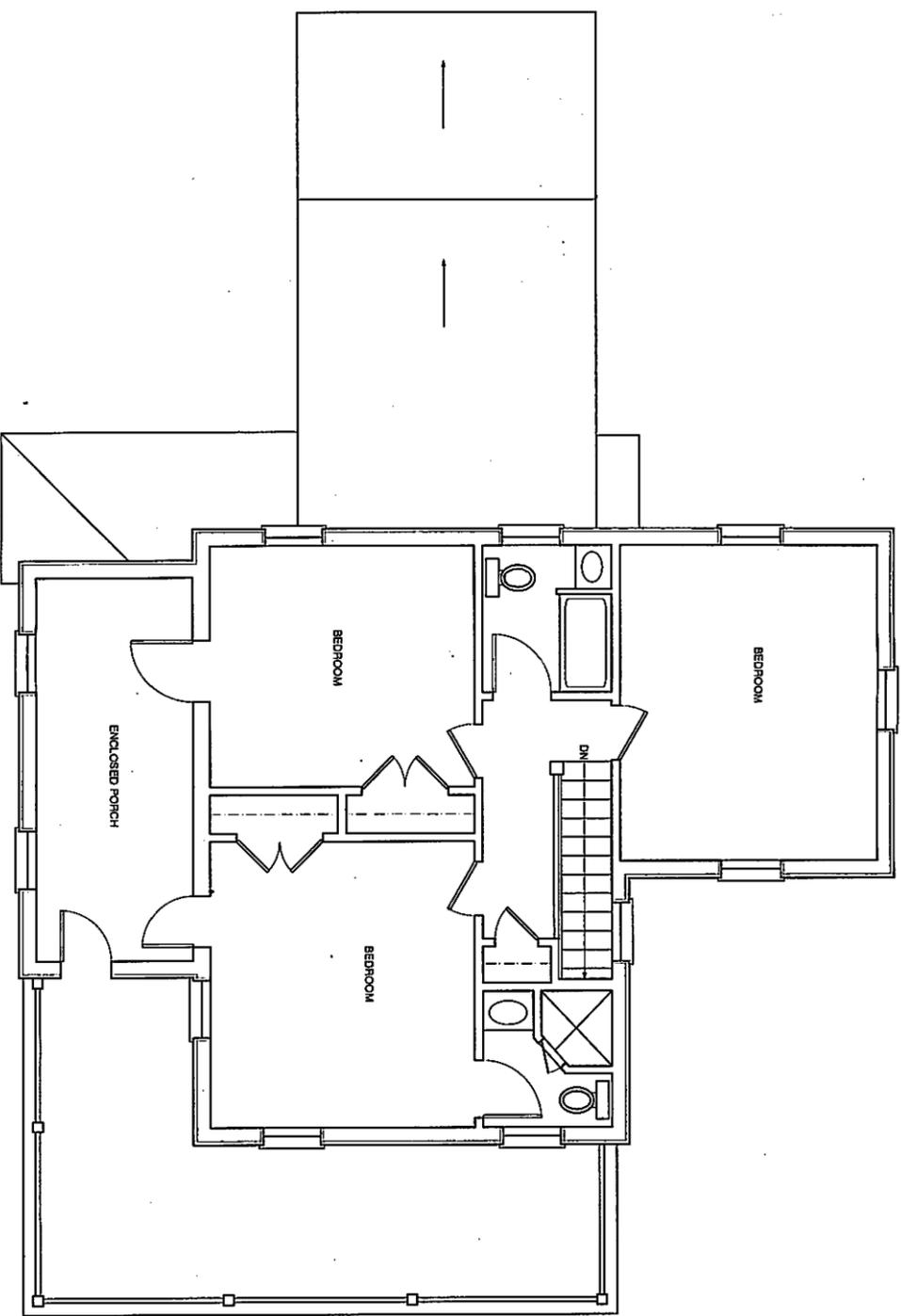




NOTE: DIMENSIONS SHOWN ARE FROM  
FACE OF STUD UNLESS NOTED  
OTHERWISE

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GLASSBURN RESIDENCE  
1738 MIDDLE STREET  
SULLIVAN'S ISLAND, SC  
EXISTING FLOOR PLAN  
1/4" = 1'-0"  
02.19.16



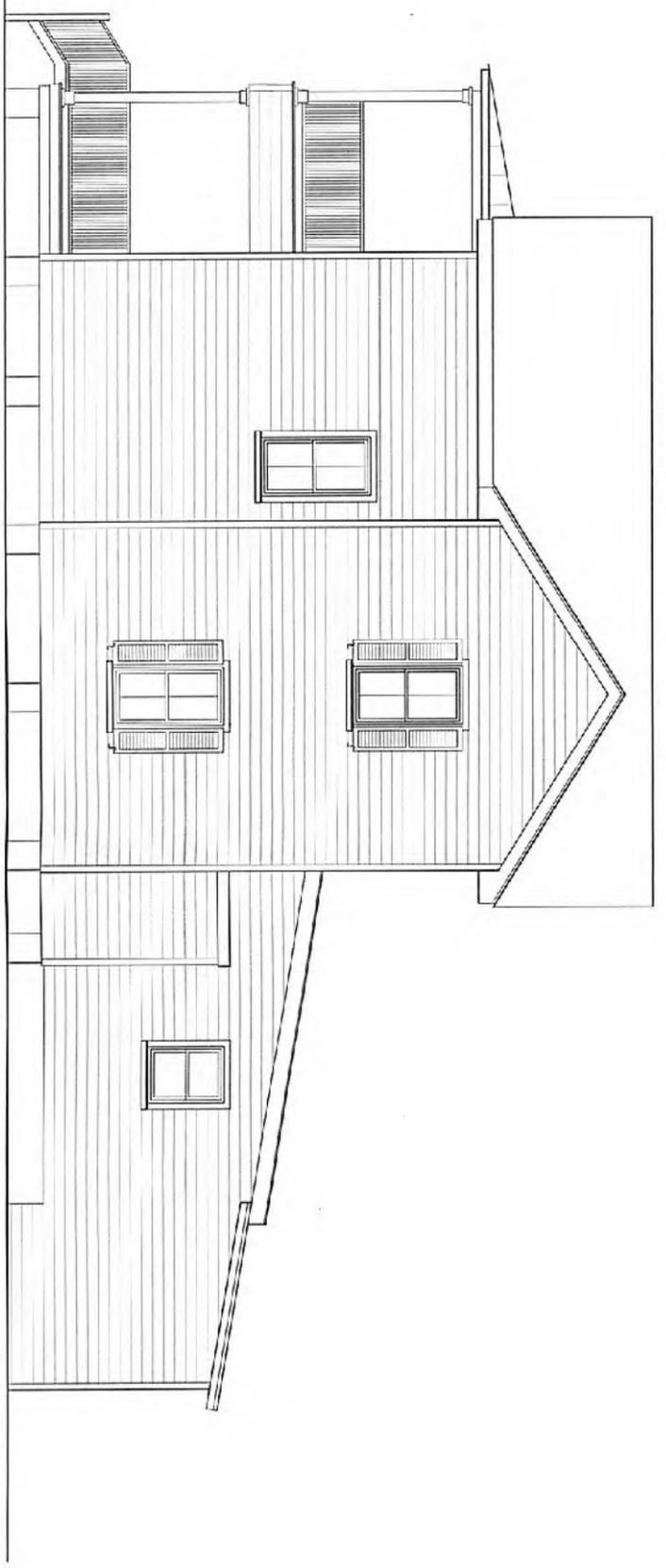
NOTE: DIMENSIONS SHOWN ARE FROM  
FACE OF STUD UNLESS NOTED  
OTHERWISE

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8 4 3 . 7 2 2 . 2 0 4 0

GLASSBURN RESIDENCE  
1728 WADDELL STREET  
SULLIVAN'S ISLAND, SC  
EXISTING FLOOR PLAN  
1/4"=1'-0"  
02.18.16



1 FRONT ELEVATION

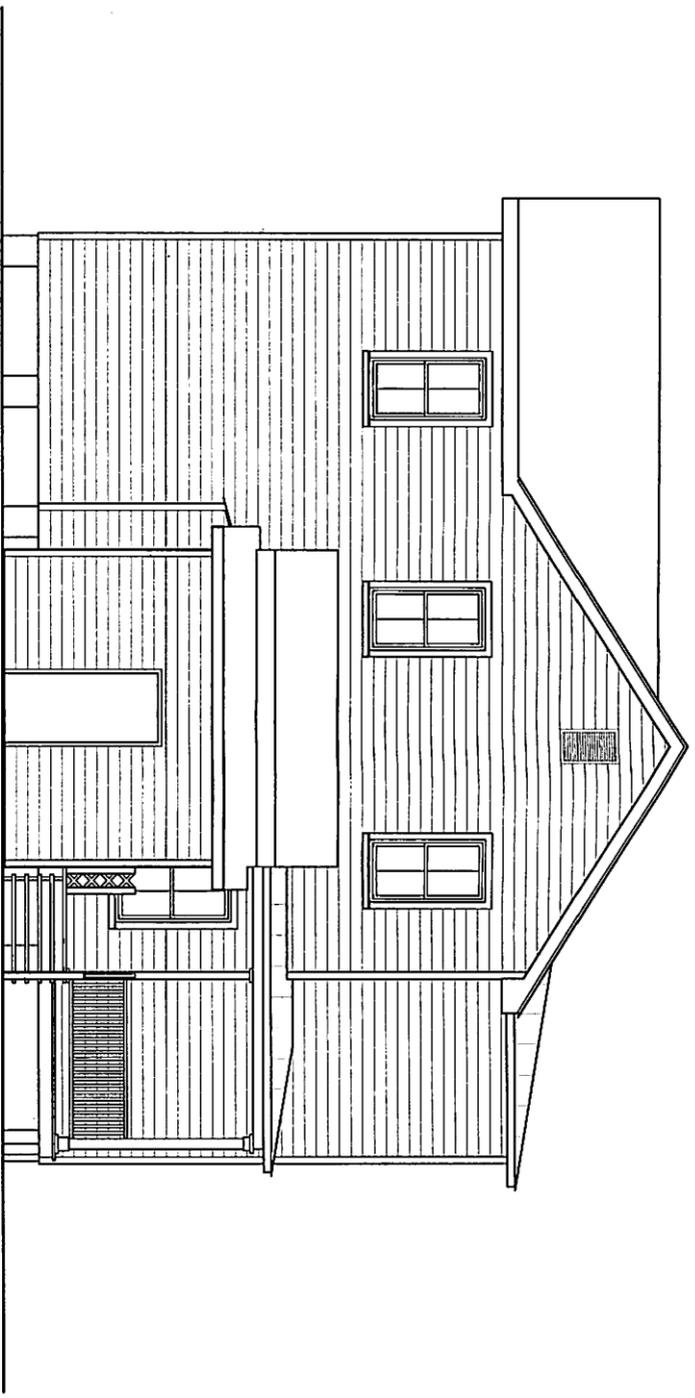


2 SIDE ELEVATION

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GLASSBURN RESIDENCE  
SULLIVAN ISLAND, SC  
EXISTING ELEVATIONS  
1/4" = 1'-0"  
02.19.15



1 REAR ELEVATION

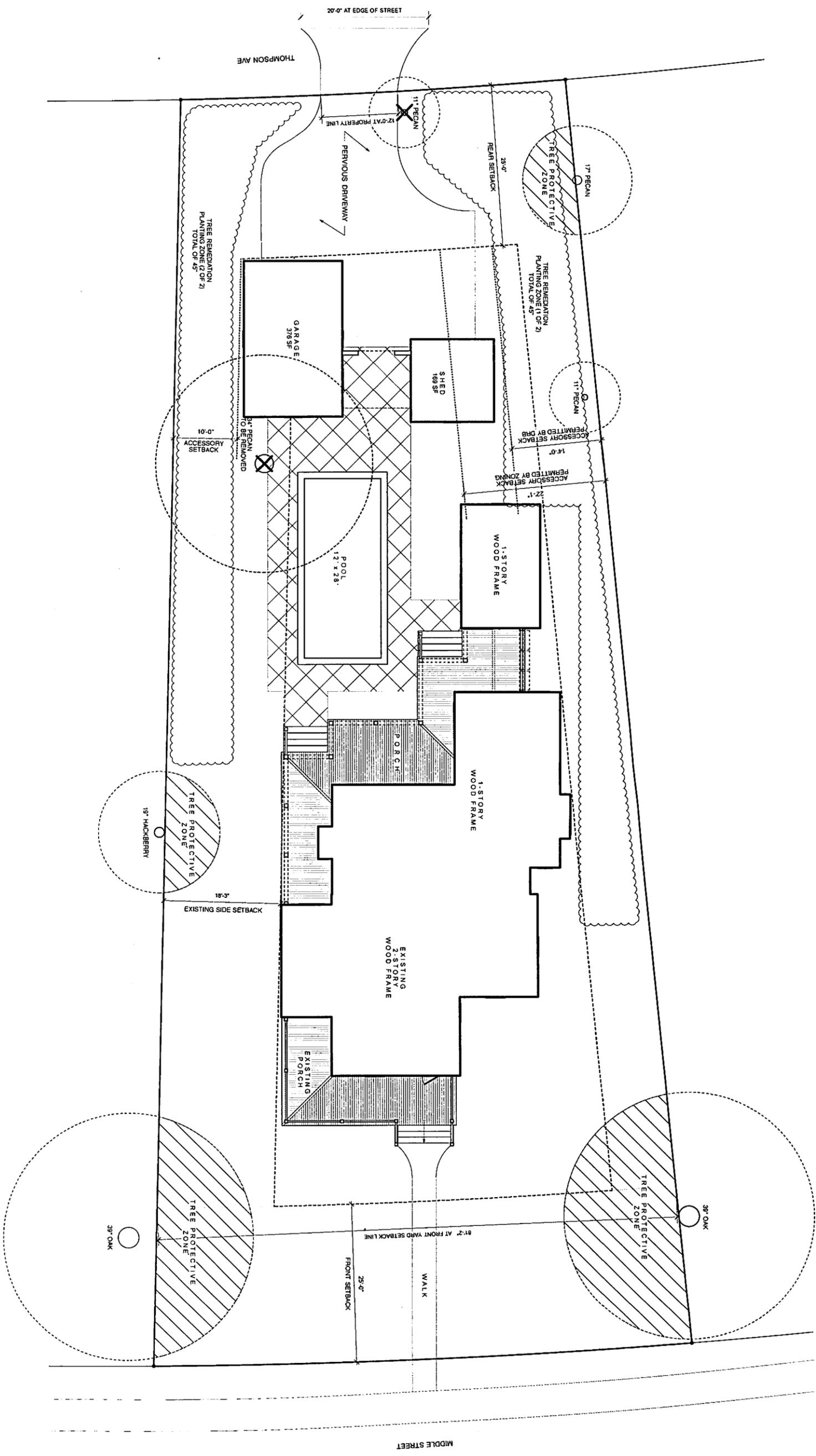


2 SIDE ELEVATION

B E A U  
C L O W N E Y

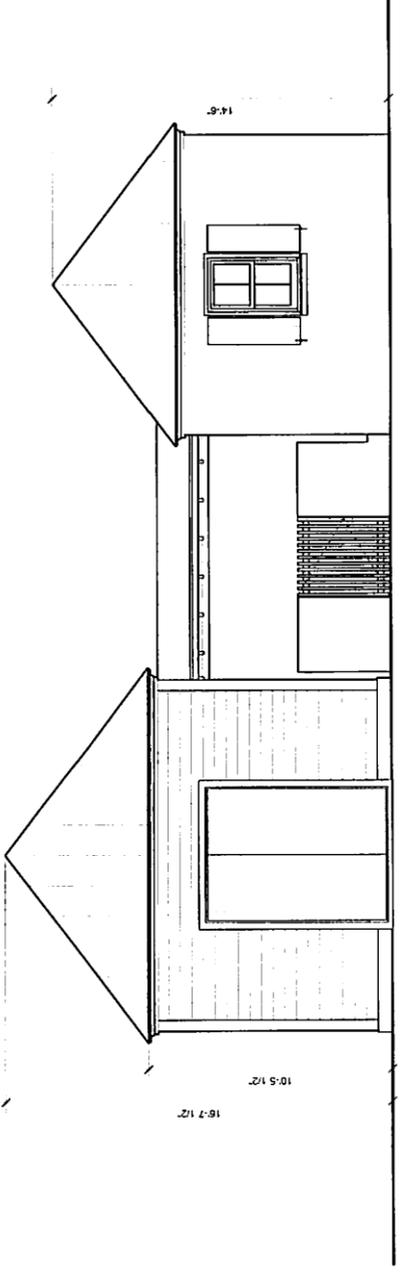
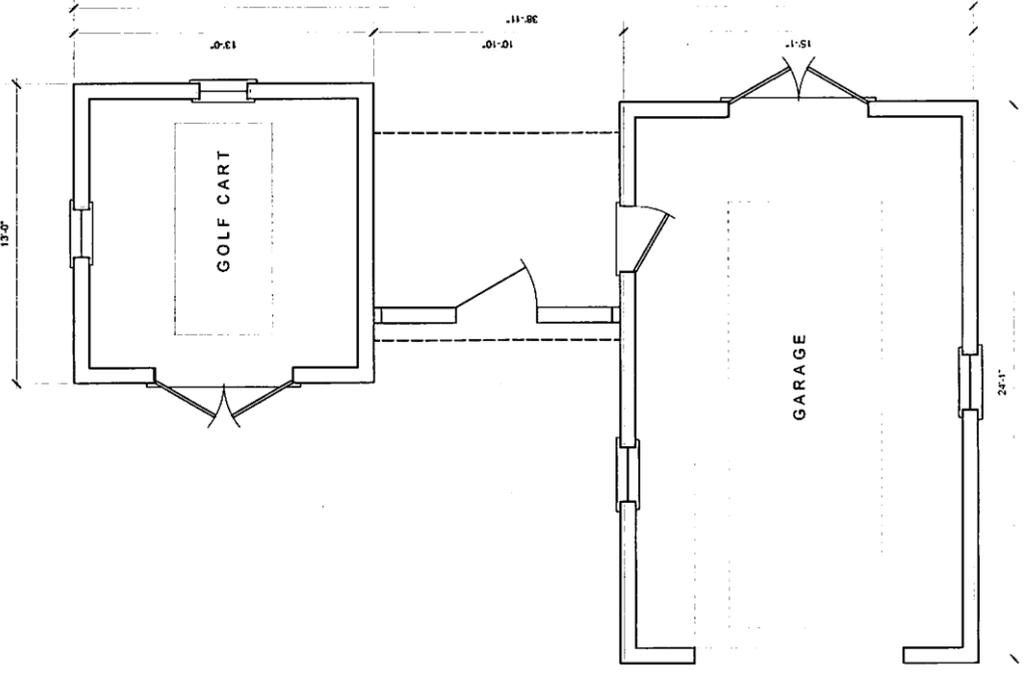
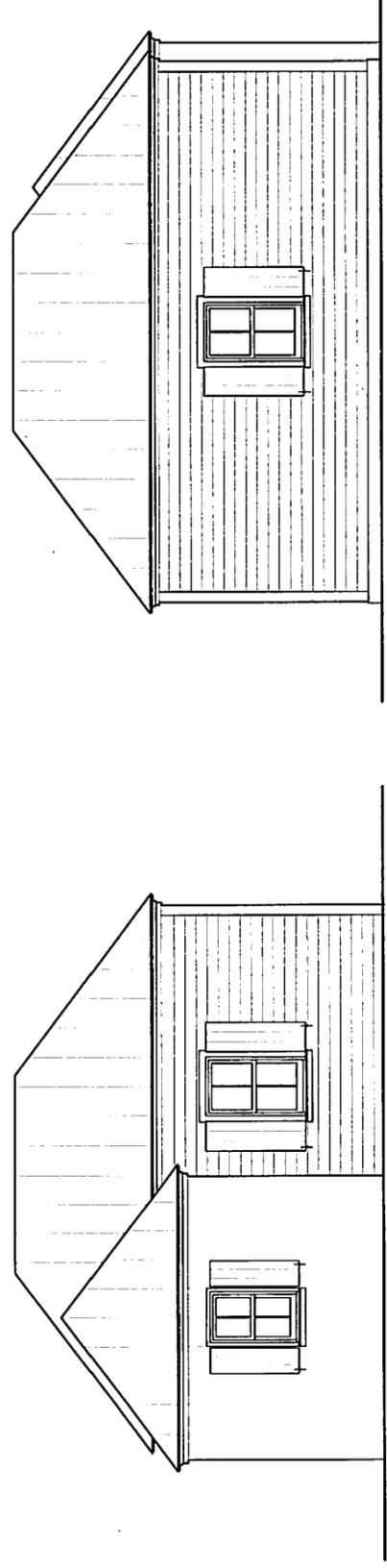
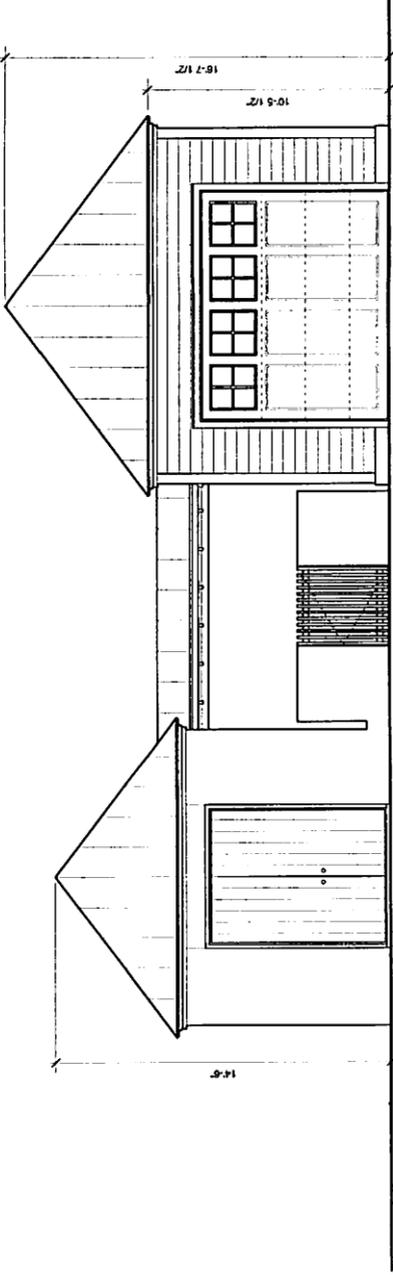
*architects*  
843.722.2040

GLASSBURN RESIDENCE  
1718 MIDDLE STREET  
SULLIVAN ISLAND, SC  
EXISTING ELEVATIONS  
1/4"-5/8"=1'-0"  
02.19.16



B E A U  
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 GLASSBURN RESIDENCE  
 1738 MIDDLE STREET  
 SULLIVAN ISLAND, SC  
 1/16" = 1'-0"  
 09 23 16

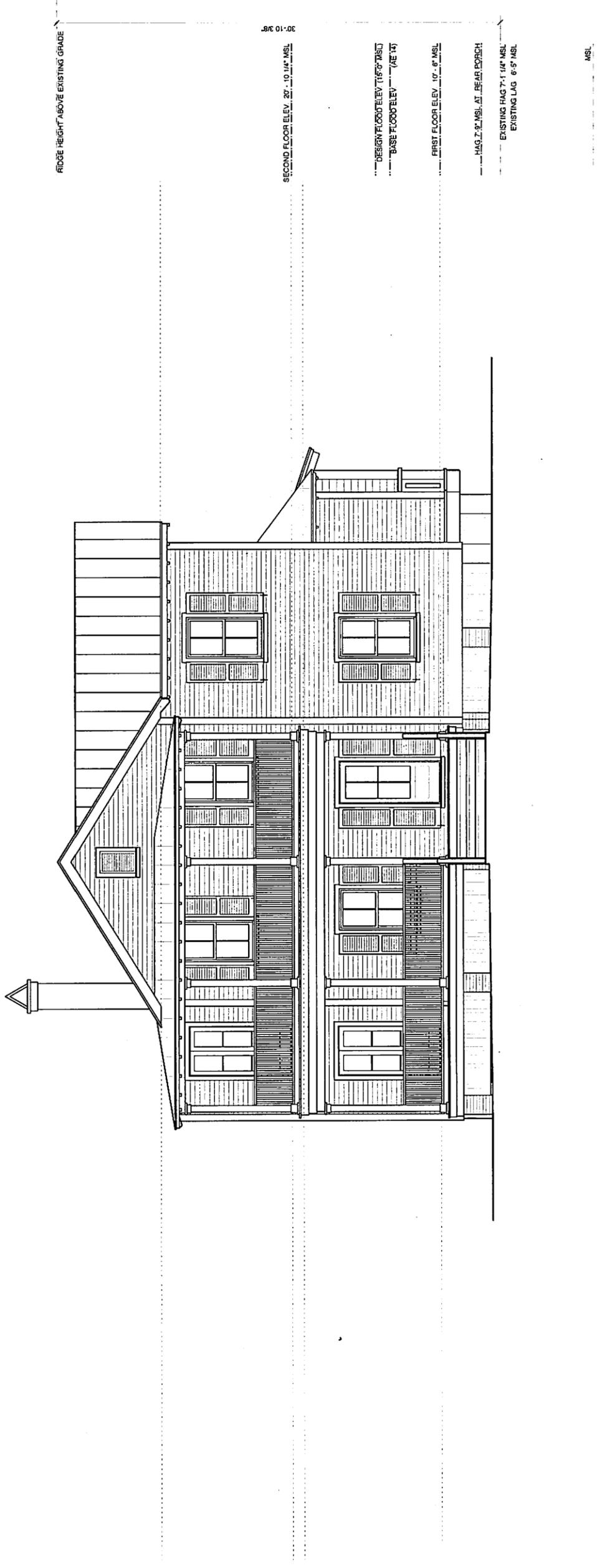
© 2016 BEAUCLOONEY ARCHITECTS, LLC  
 All rights reserved. No part of this drawing or the design hereon without the written consent of the Architect is prohibited.



B E A U  
 C L O W N E Y  
*architects*  
 843.722.2040  
 GLASSBURN RESIDENCE  
 1738 MIDDLE STREET  
 SULLIVAN ISLAND, SC  
 GARAGE  
 1/4" = 1'-0"  
 09.23.16

A 1.3

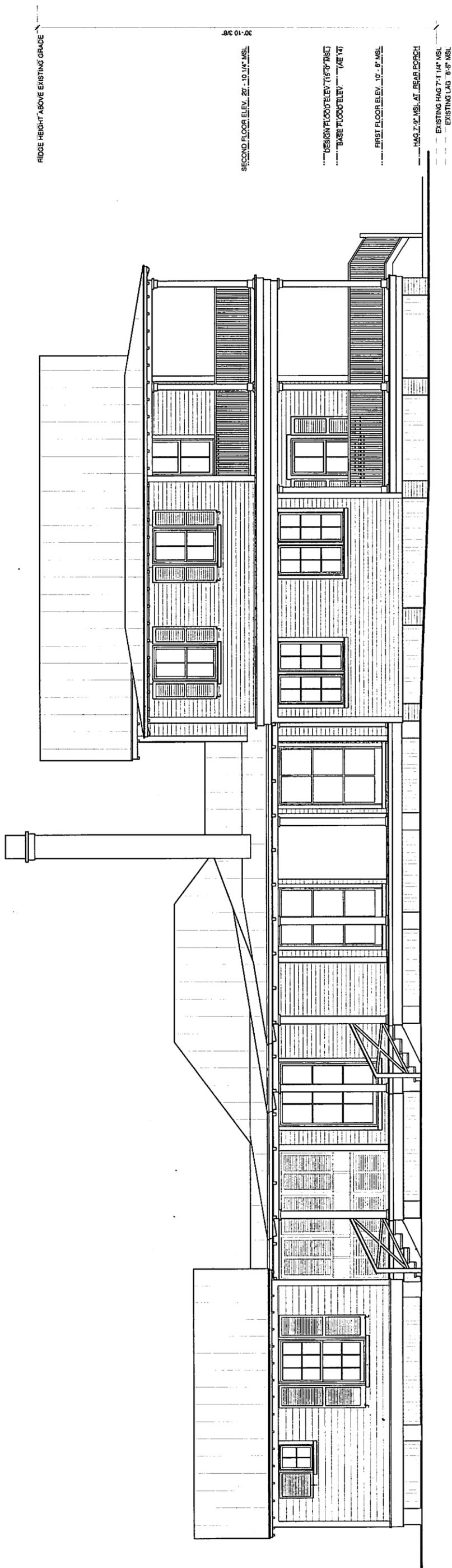
HEIGHT RESTRICTION 36' FROM EXISTING GRADE



B E A U  
C L O W N E Y  
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8 4 3 . 7 2 2 0 4 0  
GLASSBURN RESIDENCE  
1738 MIDDLE STREET  
SULLIVAN'S ISLAND, SC  
SOUTH ELEVATION  
1/4" = 1'-0"  
09.23.16

A 2.1

HEIGHT RESTRICTION 36' FROM EXISTING GRADE



RIDGE HEIGHT ABOVE EXISTING GRADE

36'-10 3/8"  
SECOND FLOOR ELEV. 20'-10 1/4" MSL

DESIGN FLOOD ELEV. (15'-0" MSL)  
BASE FLOOD ELEV. (AE 1%)

FIRST FLOOR ELEV. 10'-0" MSL

HAG 7'-0" MSL AT REAR PORCH

EXISTING HAG 7'-1 1/4" MSL  
EXISTING LAG 8'-5" MSL

MSL

B E A U  
C L O W N E Y  
*architects*  
843.722.2040  
GLASSBURN RESIDENCE  
1738 MIDDLE STREET  
SULLIVAN ISLAND SC  
WEST ELEVATION  
1/4" = 1'-0"  
09.23.16

B E A U

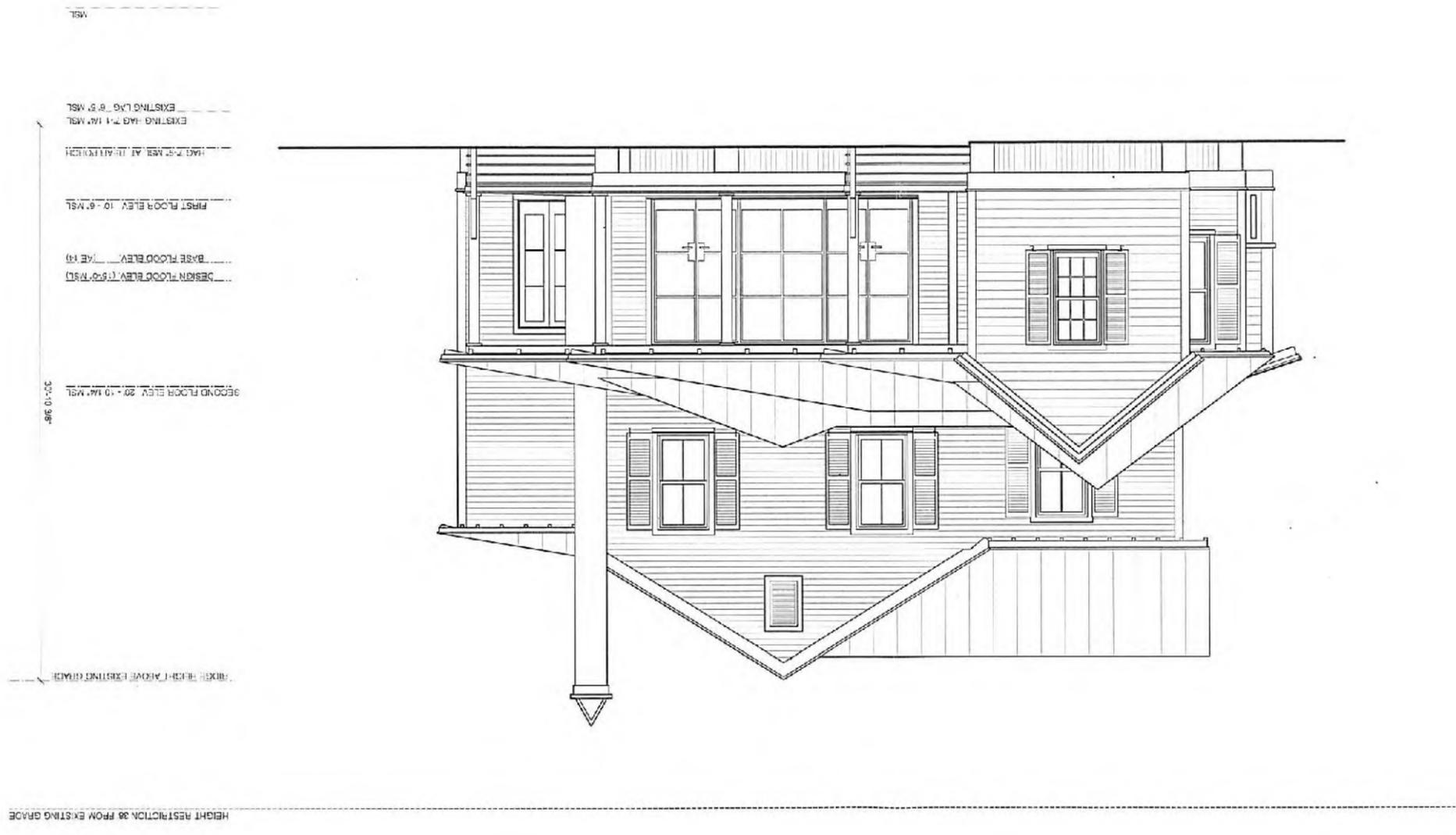
C L O W N E Y

A R C H I T E C T S

8 1 1 7 2 2 2 0 0 7 0

GLASSBORO RESIDENCE  
1738 MIDDLE STREET  
SULLIVAN'S ISLAND, SC  
NORTH ELEVATION  
1/4"=1'-0"  
09.23.16

A 2.3



HEIGHT RESTRICTION OF FROM EXISTING GRADE



RIDGE HEIGHT ABOVE EXISTING GRADE

0'6" C.D.C.

SECOND FLOOR ELEV. 20' 10" MSL

DESIGN FLOOD ELEV. (10'-0" W.S.J.)  
BASE FLOOD ELEV. (10'-18")

FIRST FLOOR ELEV. 10' 0" MSL

10'6" 2' 0" MSL AT SEAFLOOR

EXISTING HAG 7'-4" MSL  
EXISTING LAG 7'-3" MSL

MSL

B E A U  
C L O W N E Y

*architects*  
333, 2nd Street  
Sullivan Island, SC

GLASSBURN RESIDENCE  
1733 MIDDLE STREET  
SULLIVAN ISLAND, SC  
EAST ELEVATION  
1.14.16  
09.20.16

**APPLICATION  
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

**(FORM A)**

Project Address: 2850 JASPER BLVD  
 Submittal Date: 9/23/16  
 Meeting Date: 10/19/16 Parcel I.D. (TMS#): 529-07-00-030

Requested Approval (check ONE)  Conceptual  Preliminary  Final

Check one:

Submittal is *outside* the Historic District, not classified historic, and requests DRB relief.

Submittal is *within* the Historic District and is:  
 \_\_\_\_\_ designated as Historic Resource  
 \_\_\_\_\_ not designated as Historic Resource

Submittal is *outside* the Historic District and is:  
 ✓ \_\_\_\_\_ designated as Historic Resource

Historic Survey #: \_\_\_\_\_ Historic Survey #: 54

Nature of Work: (circle all that apply)

Accessory Structure    Demolition / Relocation    Addition / Alteration    New Construction

Owner's Name: RACQUEL & JOSE BRASCOECHA Architect / Designer: BEAU CLOWNEY ARCHITECTS  
 Address: 2850 JASPER BLVD. Contact #: 843.722.2040  
SULLIVAN'S ISLAND, SC email: JAMES@BEAUCLOWNEY.COM  
 email: JOSE@BRASCOECHA.COM Contractor: N/A  
 Contact #: 843.343.7330 Contact #: \_\_\_\_\_  
 email: \_\_\_\_\_

Enter a Brief Description of the Project and Scope of Work to be Performed:  
RENOVATION TO HISTORIC STRUCTURE. HISTORIC STRUCTURE IS LESS THAN 1,200 SF EXISTING AND  
RENOVATION WILL BE LESS THAN 1,200 SF LIMITED. REQUESTING APPROVAL FOR RENOVATION,  
ALTERATION AND FOR HISTORIC STRUCTURE FOR BE USED AS ACCESSORY DWELLING UNIT.

I (We) submit that the above information is true to the best of My (Our) knowledge.  <u>JAMES CLOWNEY</u> Print Applicant's Name	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application.  _____ Owner's Signature	Fee Received by  _____
Applicant Signature	Owner's Signature	check #

# REQUEST FOR REVIEW FORM (FORM B)

## Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2850 WISDOM BLVD

Submittal Date: 9/23/16

Meeting Date: 10/19/16

### BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>21,722</u> sf
Lot Width:	<u>105 / 87.52</u>
Lot Depth:	<u>230.36 / 222.79</u>
Flood Zone / Base Flood Elevation:	<u>AE 13</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>1,197</u> sf
Accessory Building Footprint:	<u>—</u> sf
Total Principal Bldg. Coverage Area: (Principal Building plus Accessory Structure)	<u>1,197</u> sf

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>1,197</u> sf
Covered Porches:	<u>406</u> sf
Open Decks / Steps:	<u>434</u> sf
Pool / Patio:	<u>—</u> sf
Drives / Walks:	<u>—</u> sf
Other Impervious Coverage	<u>—</u> sf
Total Impervious Coverage	<u>2,037</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>1,197</u> sf
Second Floor	<u>—</u> sf
Third Floor	<u>—</u> sf
Accessory Building	<u>—</u> sf
Total Principal Building Square Footage: (Principal Building plus Accessory Structure)	<u>1,197</u> sf

### EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

\* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: <u>CONCRETE / STUCCO PIERS (NEW)</u>	Roof: <u>STANDING SEAM METAL</u>
Walls: <u>WOOD SIDING (PAINTED)</u>	Windows: <u>EXISTING WOOD / NEW CLAD WOOD</u>
Trim: <u>WOOD (PAINTED)</u>	Doors: <u>WOOD</u>

### Sec. 21-111 Standards of Neighborhood Compatibility

*NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet.*

(check all that apply)     Narrative attached     Will discuss at presentation     Not Applicable

# ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

## Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2850 JASPER BLVD

Submittal Date: 9/23/16

Meeting Date: 10/19/16

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief In Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: <u>15</u> min.; <u>3'-4"</u> comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>3,258.3</u> sf	✓	20% _____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>6,516.6</u> sf	✓	20% _____ sf			
	H	21-27 Principal Building, Square Footage	as per formula: Enter Result <u>4,072</u> sf	✓	25% _____ sf			
	I	21-28 Third Story	as per formula: Enter Result _____ sf		15% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor		1 foot		100%	
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance		Adjust for Neighborhood Compatibility			



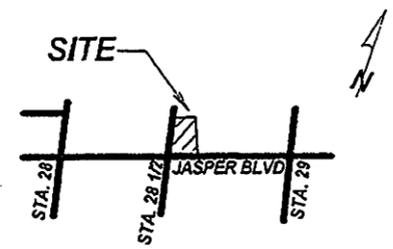




APPROVAL OF THIS PLAT IS NOT INTENDED TO, NOR DOES IT CONSTITUTE, RECONCILIATION OF CONFLICTING BOUNDARIES OR APPROVAL OF ZONING CODE INFRACTIONS, IF ANY EXIST.

PLAT APPROVED  
TOWN OF SULLIVAN'S ISLAND

PLANNING COMMISSION CHAIRMAN  
DATE 4/14/10



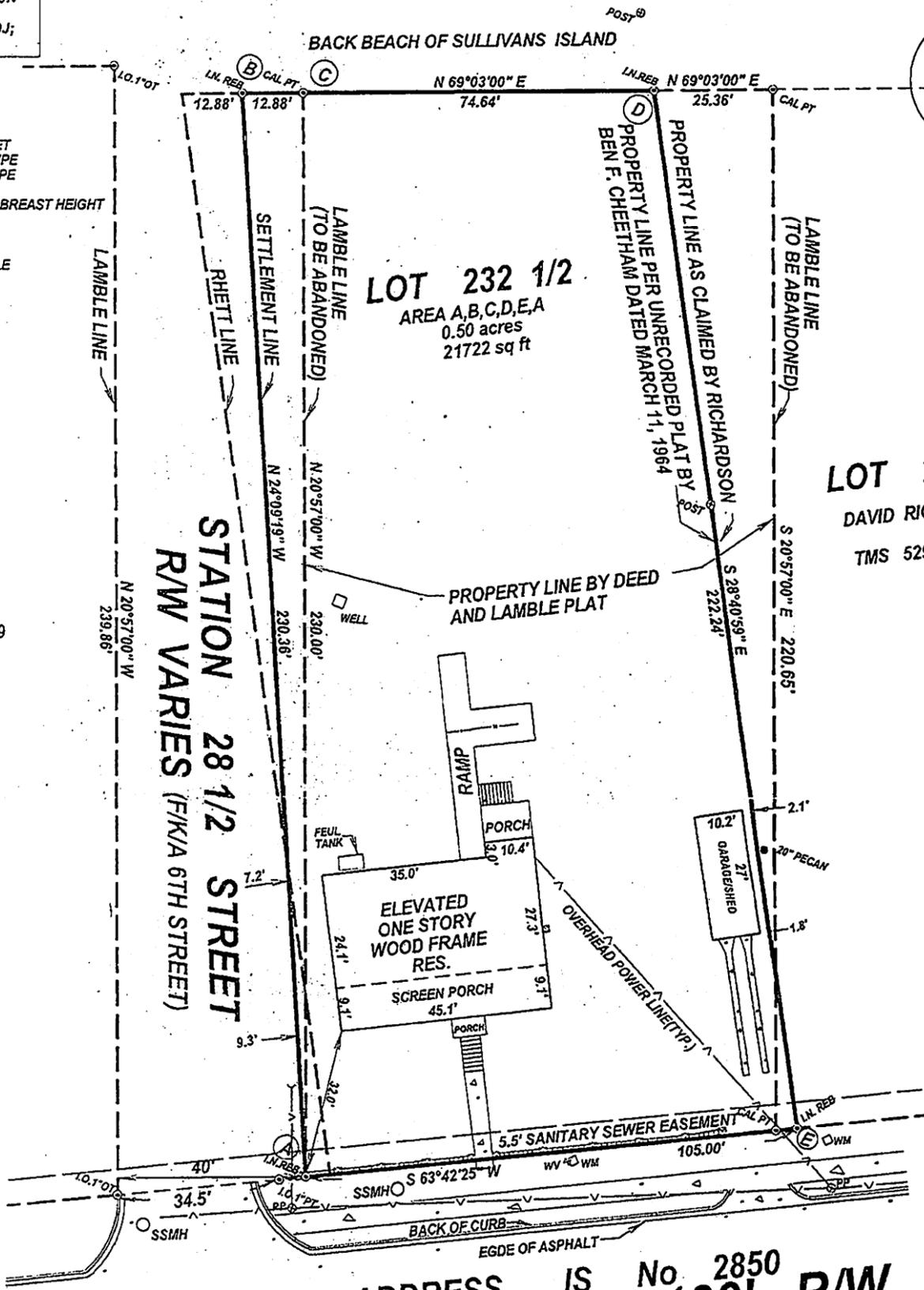
LOCATION MAP  
N.T.S.

I CERTIFY THAT THE PROPERTY SHOWN HEREON APPEARS IN FLOOD ZONE AE, ELEV 13 AS SHOWN ON FIRM MAP NUMBER 45019CO539J; EFFECTIVE DATE NOVEMBER 17, 2004.

LEGEND:

- 1. I.N. REB. - INDICATES IRON NEW No. 5 REBAR SET
- 2. I.O. 1"PT - INDICATES IRON OLD 1" PINCH TOP PIPE
- 3. I.O. 1"OT - INDICATES IRON OLD 1" OPEN TOP PIPE
- 4. CAL. PT. - INDICATES CALCULATED POINT
- 5. 20" PECAN - INDICATES 20" PECAN DIAMETER AT BREAST HEIGHT
- 6. PP - INDICATES POWER POLE
- 7. WM - INDICATES WATER METER
- 8. WV - INDICATES WATER VALVE
- 9. SSMH - INDICATES SANITARY SEWER MANHOLE

LOT 182  
RACQUEL & JOSE  
BIASCOECHEA  
TMS 529-07-00-029



ADDRESS IS No. 2850  
JASPER BLVD. 100' R/W

PLAT

OF A RESURVEY OF LOT 232 1/2, MOULTRIEVILLE, EAST END, SULLIVANS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA. TO RESOLVE THE BOUNDARY LINE BETWEEN LOT 232 1/2 AND LOT 232 E AND STATION 28 1/2 STREET FORMERLY 6TH STREET. PRESENTLY OWNED BY NELLIE J. DAWSEY.

(Surveyed according to Plat of Lamble's recorded 12 March, 1902 in book "D" at page 184. And also deed book "U-79", page 403.)



SCALE: 1" = 30'

DATE: 31 MAY, 2006  
REVISED: 10 JULY, 2006  
REVISED: 21 SEPT., 2006  
REVISED: 22 JANUARY, 2007  
REVISED: SEPT. 10, 2008  
REVISED: JANUARY 5, 2010  
REVISED: APRIL 14, 2010

REF: PLAT BK. "D", PG. 184. (LAMBLE)  
PLAT BK. "E", PG. 43 (RHETT)

T.M.S.: 529-07-00-030

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

*(Signature)*

ALEXANDER C. PEABODY, PLS  
PEABODY & ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYING  
P.O. BOX 22646, CHARLESTON, SC 29413  
OFFICE 843-723-5225 MOBILE 843-270-4847



CHARLESTON COUNTY  
SOUTH CAROLINA

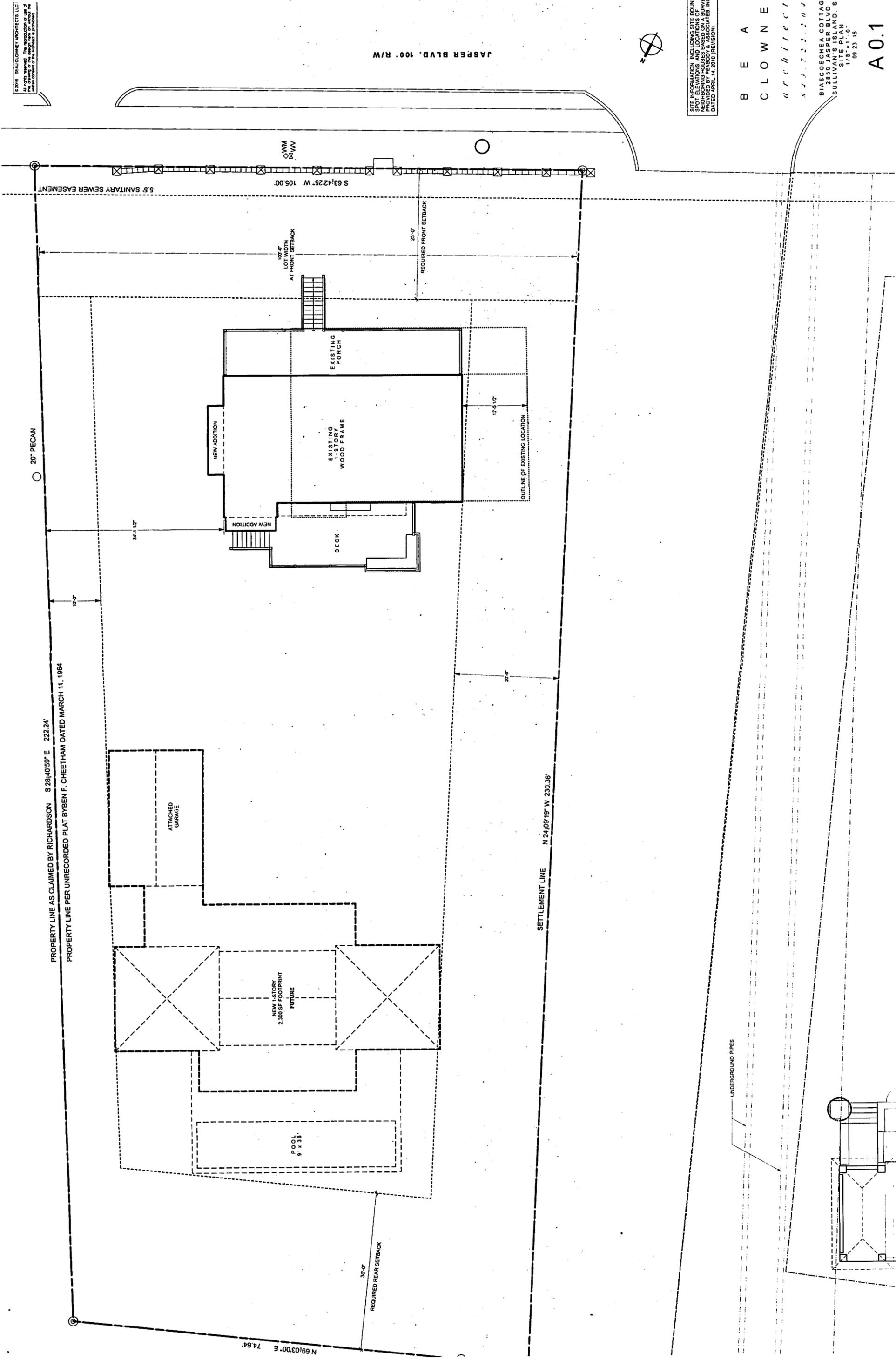
© 2016 BEAUCLOONEY ARCHITECTS LLC  
All rights reserved. The reproduction or use of  
this drawing without the written consent of the architect is prohibited.

SITE INFORMATION INCLUDING SITE BOUNDARIES  
SPOT ELEVATIONS AND LOCATIONS OF  
NEIGHBORING HOUSES BASED ON A SURVEY  
CONDUCTED BY BEAUCLOONEY ARCHITECTS, INC.  
DATED APRIL 14, 2016 (REVISION)

B E A U  
C L O W N E Y  
*architects*  
X J J 7 2 2 2 0 J 0

BIASCOECHEA COTTAGE  
2850 JASPER BLVD  
SULLIVAN'S ISLAND, SC  
SITE PLAN  
118 21 10  
09 23 16

A0.1



PROPERTY LINE AS CLAIMED BY RICHARDSON S 28°40'59" E 222.24'  
PROPERTY LINE PER UNRECORDED PLAT BY BEN F. CHEETHAM DATED MARCH 11, 1964

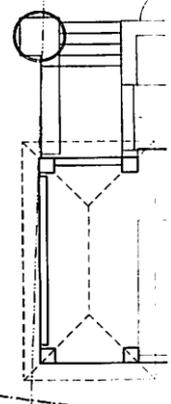
N 69°03'00" E 74.64'

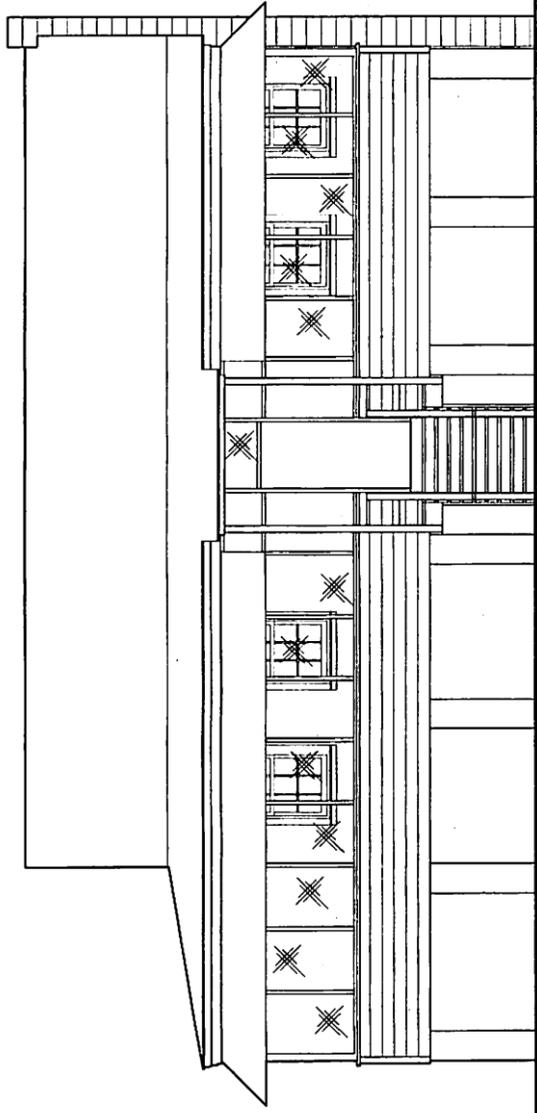
REQUIRED REAR SETBACK

REQUIRED FRONT SETBACK

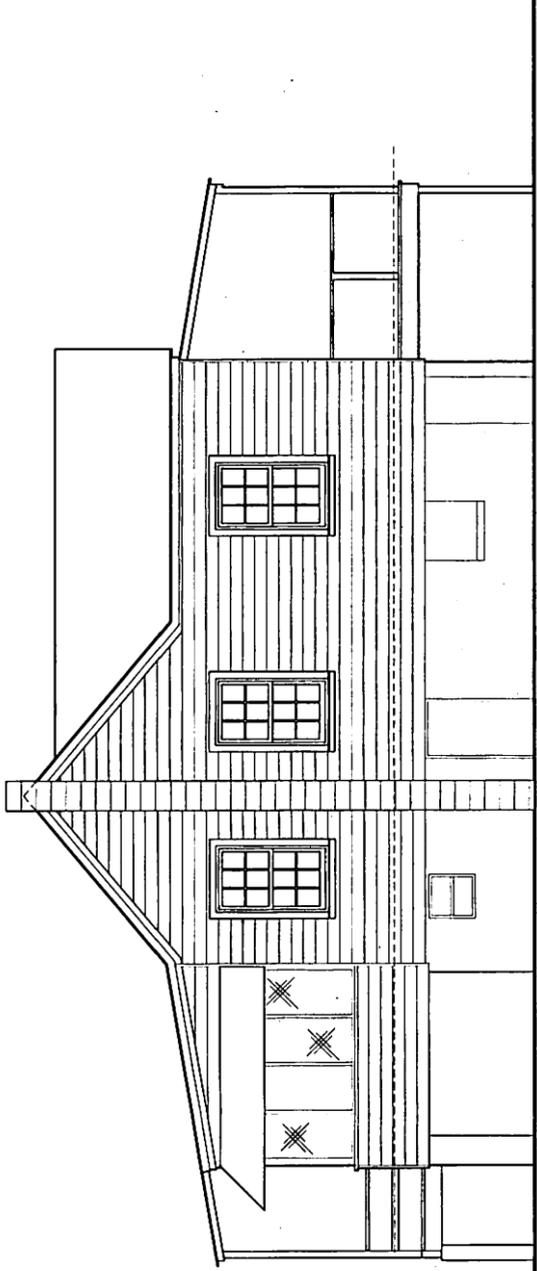
SETTLEMENT LINE N 24°09'19" W 230.36'

UNDERGROUND PIPES

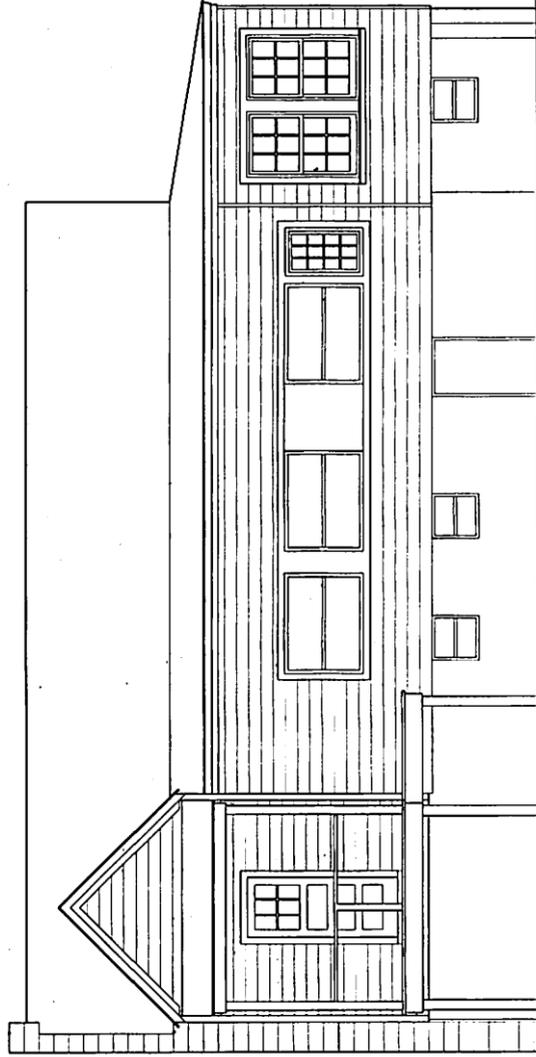




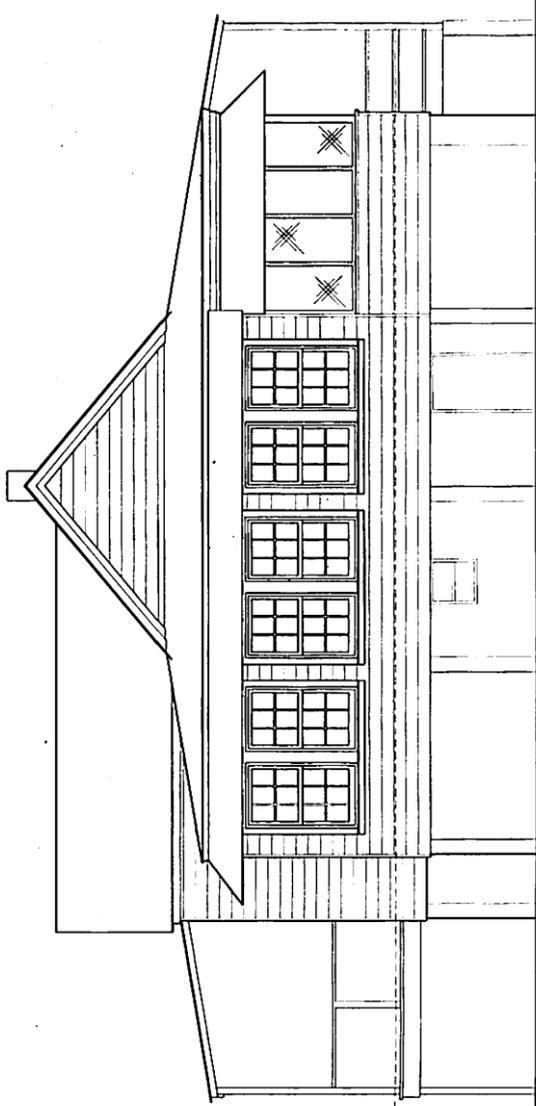
1  
2.1 EXISTING STREET ELEVATION  
SCALE 1/4" = 1'-0"



2  
2.1 EXISTING EAST ELEVATION  
SCALE 1/4" = 1'-0"



3  
2.1 EXISTING NORTH ELEVATION  
SCALE 1/4" = 1'-0"



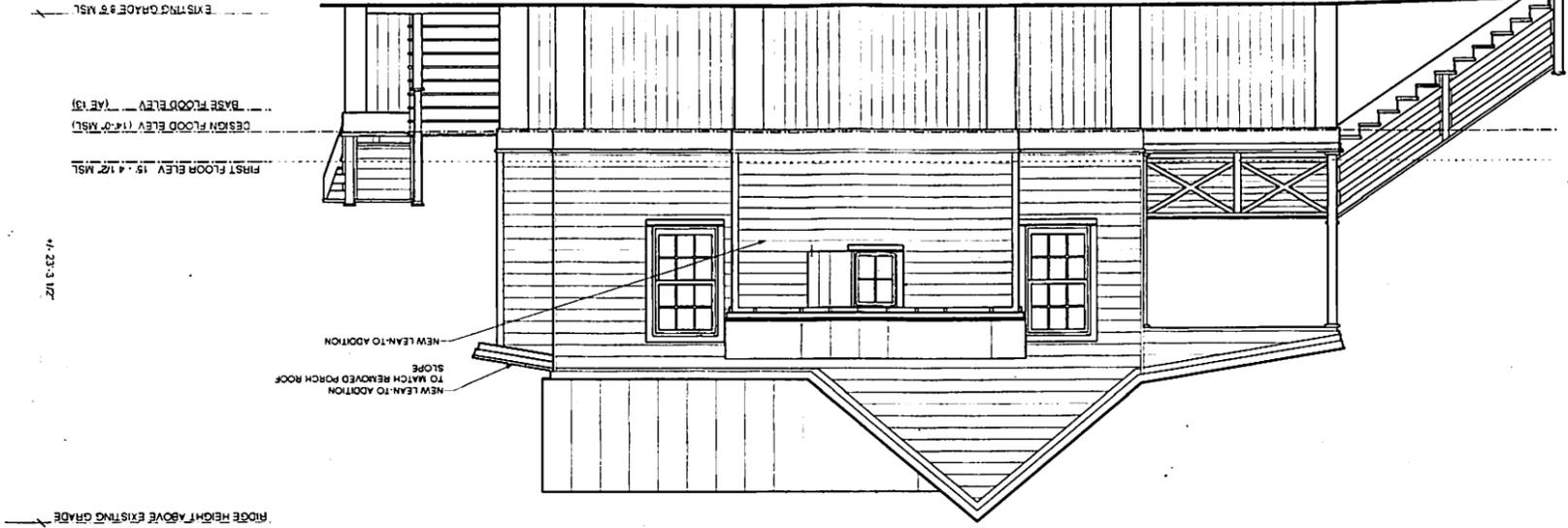
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2.1 EXISTING WEST ELEVATION  
SCALE 1/4" = 1'-0"

B E A U  
C L O W N E Y

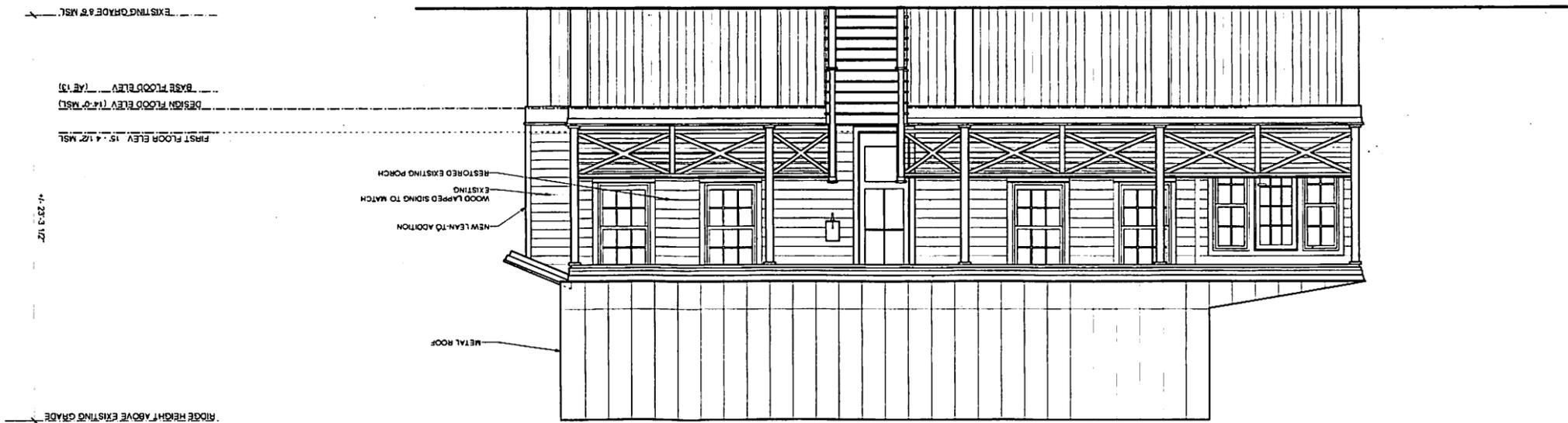
*architects*  
K J J 7 2 2 2 0 4 0

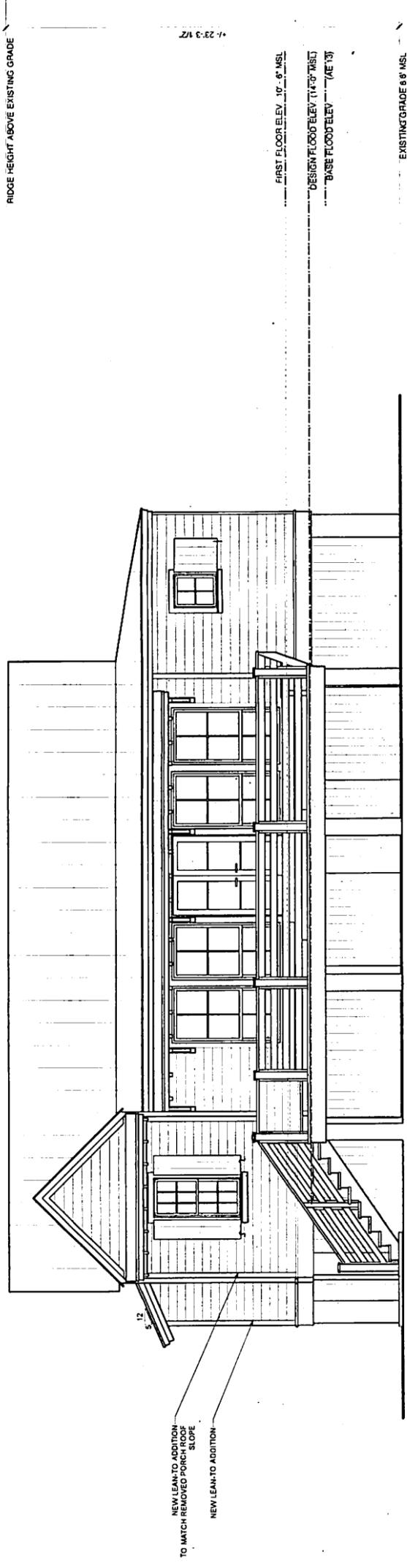
BIASCOECHEA COTTAGE  
2850 JASPER BLVD.  
SULLIVAN'S ISLAND  
114 110  
05 20 16

PROPOSED EAST ELEVATION  
SCALE 1/8" = 1'-0"



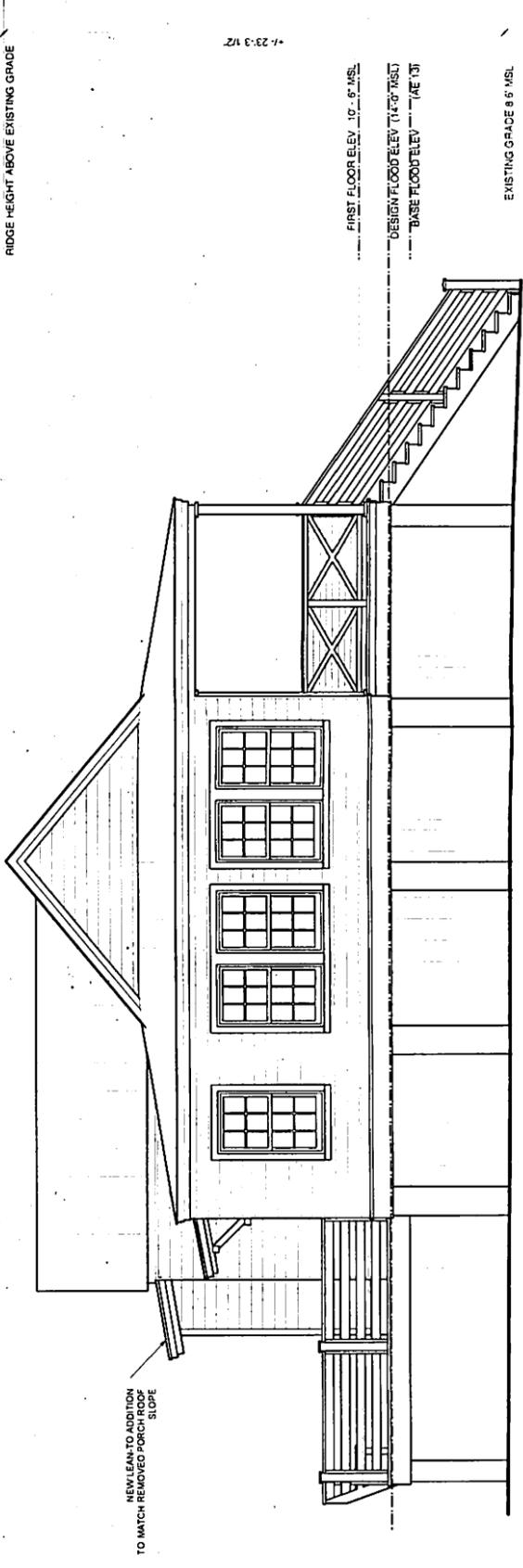
PROPOSED STREET ELEVATION  
SCALE 1/8" = 1'-0"





1  
 22  
 PROPOSED NORTH ELEVATION

SCALE 1/8" = 1'-0"



2  
 22  
 PROPOSED WEST ELEVATION

SCALE 1/8" = 1'-0"

B E A U  
 C L O W N E Y  
 A R C H I T E C T S  
 5 4 3 . 7 2 2 . 2 0 4 0  
 BIASCOECHEA COTTAGE  
 2850 JASPER BLVD.  
 SULLIVAN'S ISLAND  
 ELEVATIONS  
 1/4" = 1'-0"  
 09.23.16

**APPLICATION  
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (343) 863-3198

**(FORM A)**

Project Address: <u>2830 Harvey St</u>			
Submittal Date: <u>9.27.16</u>			
Meeting Date: <u>10.19.16</u>			
Requested Approval: (check ONE) <input checked="" type="checkbox"/> Conceptual <input type="checkbox"/> Preliminary <input type="checkbox"/> Final			
Check one:			
<input checked="" type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief.	<input type="checkbox"/> Submittal is <i>within</i> the Historic District and is:	<input type="checkbox"/> Submittal is <i>outside</i> the Historic District and is	
	_____ designated as Historic Resource _____ not designated as Historic Resource	_____ designated as Historic Resource	
	Historic Survey #: _____	Historic Survey #: _____	
Nature of Work: (circle all that apply)			
Accessory Structure	Demolition / Relocation	<u>Addition / Alteration</u>	New Construction
Owner's Name: <u>David Jenfer</u>	Architect / Designer: <u>Heather Wilson</u>		
Address: <u>Rosen Franz</u>	Contact #: <u>843 814 2031</u>		
<u>2830 Harvey St</u>	email: <u>heather@heatherawilsonarchite</u>		
email: _____	Contractor: <u>owner</u>		
Contact #: _____	Contact #: _____		
	email: _____		
Enter a Brief Description of the Project and Scope of Work to be Performed:			
<u>Relocate a portion of existing house and add an addition to the front.</u>			
I (We) submit that the above information is true to the best of My (Our) knowledge. <u>Heather Wilson</u> Print Applicant's Name  Applicant Signature	If Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. _____ Owner's Signature	Fee Received by _____ _____ check # _____	

# REQUEST FOR REVIEW FORM (FORM B)

## Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 860-3156

Project Address: 2830 Harvey St.  
 Submittal Date: 9/23/16  
 Meeting Date: 10/19/16

### BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet	<u>21,274</u> sf
Lot Width	<u>105</u>
Lot Depth	<u>194-211</u>
Flood Zone / Base Flood Elevation:	<u>VE1b</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint	<u>3483</u> sf
Accessory Building Footprint	_____ sf
<b>Total Principal Bldg. Coverage Area:</b>	<u>3483</u> sf
<small>(Principal Building plus Accessory Structure)</small>	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>3483</u> sf
Covered Porches	<u>1397</u> sf
Open Decks / Steps	_____ sf
Pool / Patio	<u>800</u> sf
Drives / Walks	_____ sf
Other Impervious Coverage	_____ sf
<b>Total Impervious Coverage</b>	<u>5,680</u> sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>3483</u> sf
Second Floor	<u>1220</u> sf
Third Floor	_____ sf
Accessory Building	_____ sf
<b>Total Principal Building Square Footage:</b>	<u>4703</u> sf
<small>(Principal Building plus Accessory Structure)</small>	

### EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

\* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: Stucco piers                      Roof: 5V  
 Walls: artisan hard                              Windows: clad wood  
 Trim: wood    Doors: " "

### Sec. 21-111 Standards of Neighborhood Compatibility

*NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards or be prepared to address in depth at presentation. If including narrative, please use the following sheet*

(check all that apply)       Narrative attached       Will discuss at presentation       Not Applicable

# ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

## Sullivan's Island Design Review Board

1610 Middle Street • PO Box 427 • Sullivan's Island SC • 29482 • (843) 663-3198

Project Address:

2830 Harvey St.

Submittal Date:

9.23.16

Meeting Date:

10.19.16

		Zoning Ordinance Reference Section	Zoning Standard	✓ meets standard	DRE's Max Authority for Relief	Applicant's Request for Relief in Ft./Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
SETBACKS	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	✓	15%			
	C	21-22 Side Setback	Per lot; Enter Result: _____ min: _____ comb.	✓	25%			
	D	21-22 Side Setback 2nd Floor Setback	7 feet	✓	100%			
	E	21-22 Rear Setback	25 feet	✓	None			
LOT COVERAGE	F	21-25 Principal Building Coverage	as per formula: Enter Result <u>3191</u> sf		20% <u>638</u> sf	<u>292</u>	<u>10%</u>	<u>3483</u>
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>6382</u> sf	✓	25% _____ sf			
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4027</u> sf		20% <u>805</u> sf	<u>676</u>	<u>17%</u>	<u>4703</u>
	I	21-28 Third Story	as per formula: Enter Result _____ sf	✓	20% _____ sf			
DESIGN STANDARDS	J	21-29 Principal Building Front Façade	as per formula: Enter Result _____ sf	✓	100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result _____ sf	✓	100%			
	L	21-30 Building Orientation	towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	✓	1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance	✓	Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance	✓	Adjust for Neighborhood Compatibility			

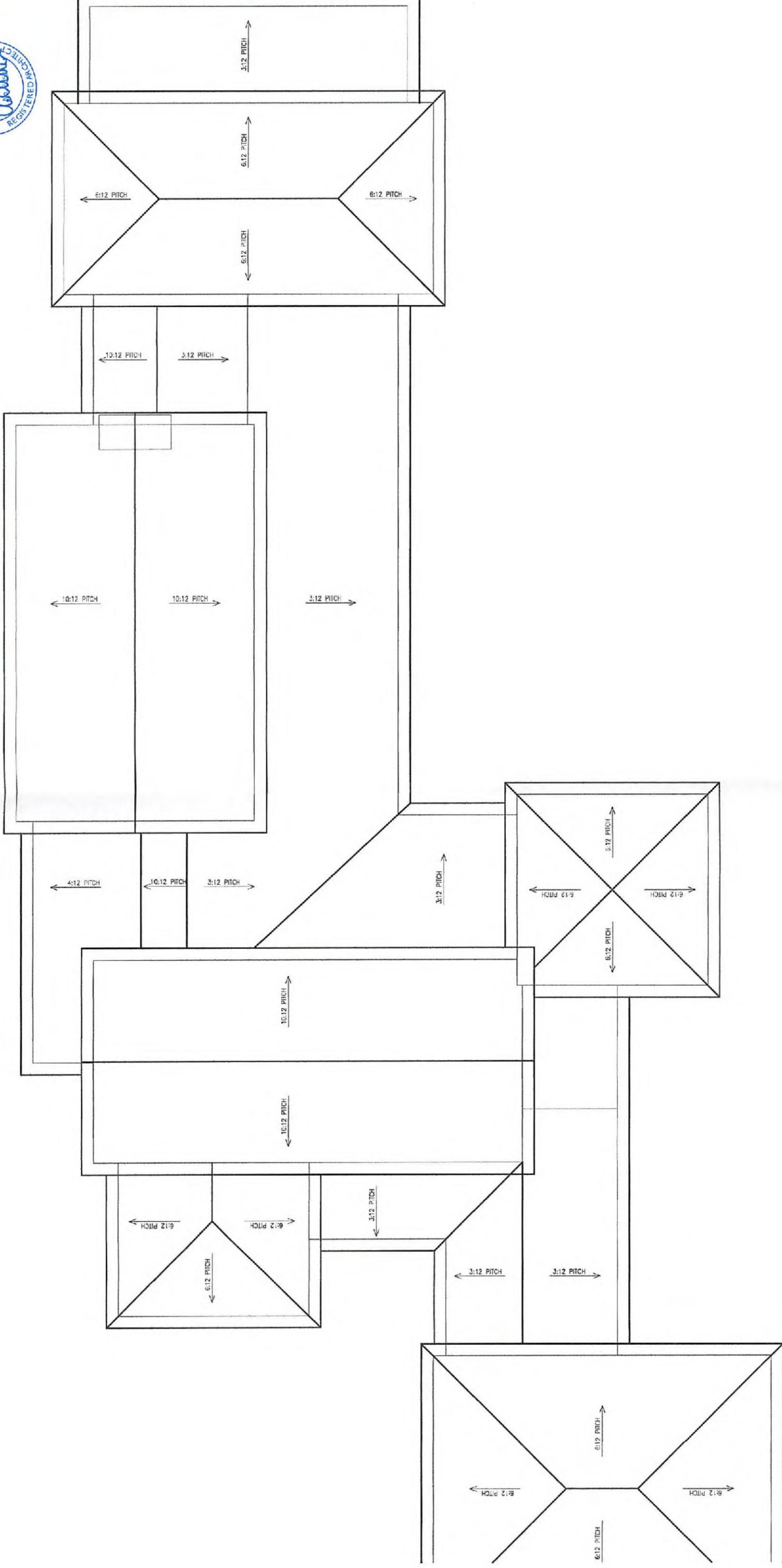


INDEX

S2	EXISTING SITE PLAN
S2	PROPOSED SITE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A2.1	SOUTH ELEVATION
A2.2	WEST ELEVATION
A2.3	NORTH ELEVATION
A2.4	EAST ELEVATION
A2.5	BLDG. SECTION
A2.6	BLDG. SECTION



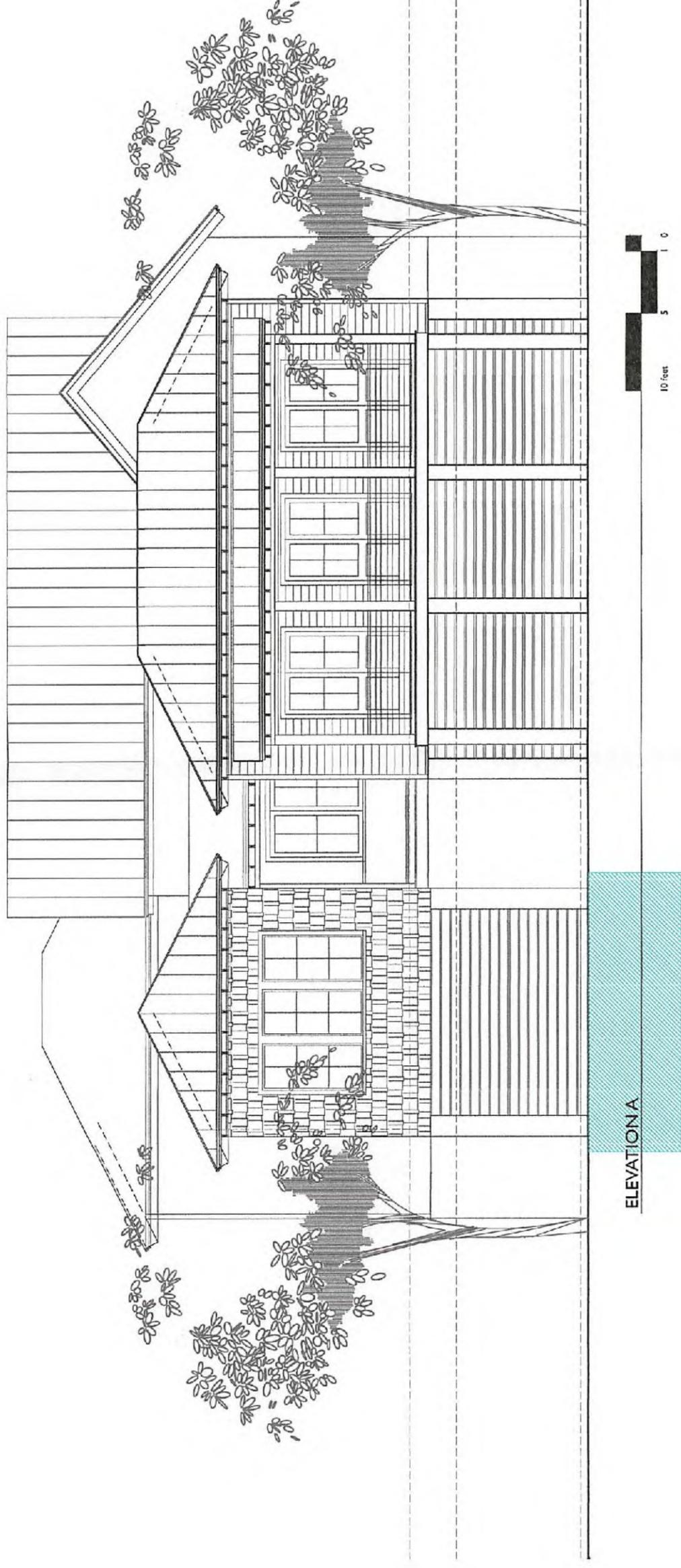


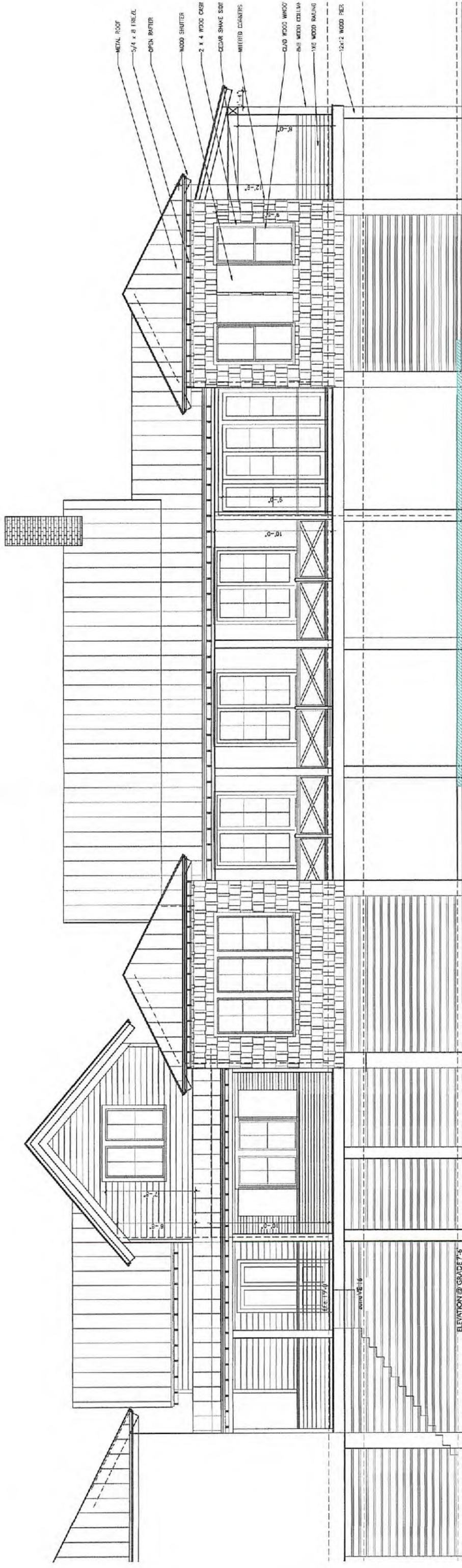


ROOF PLAN

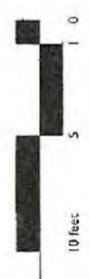


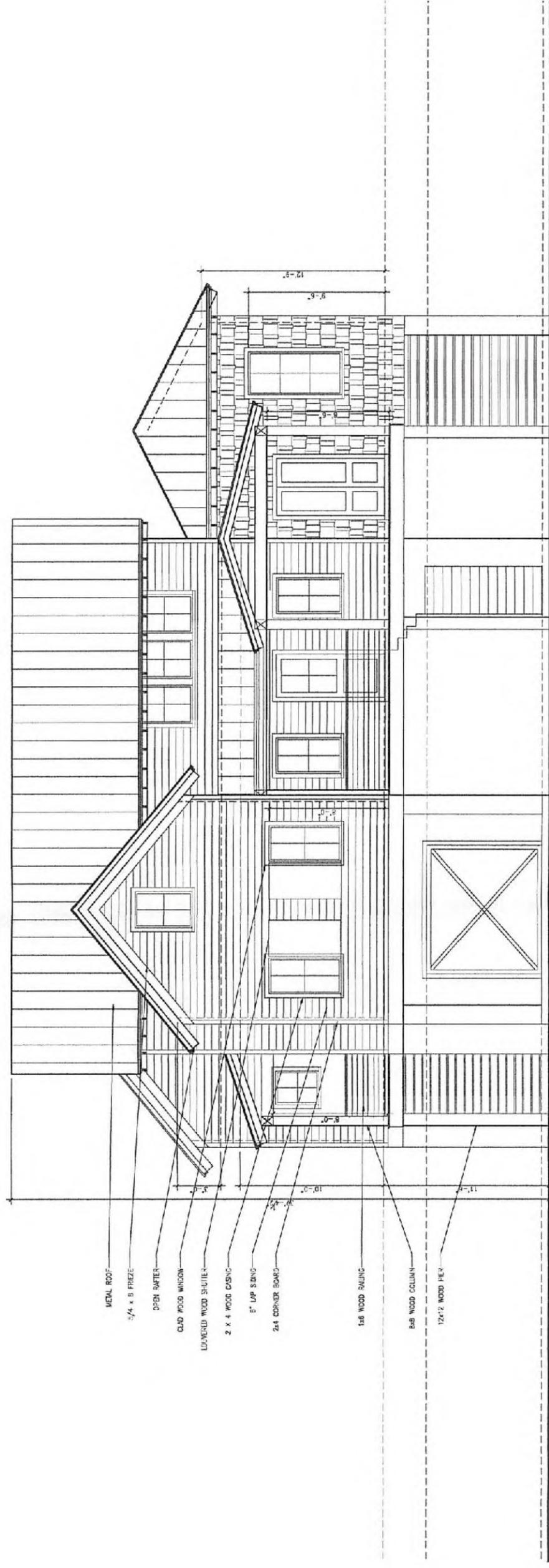
DRB REVIEW : OCTOBER 19, 2016





ELEVATION B

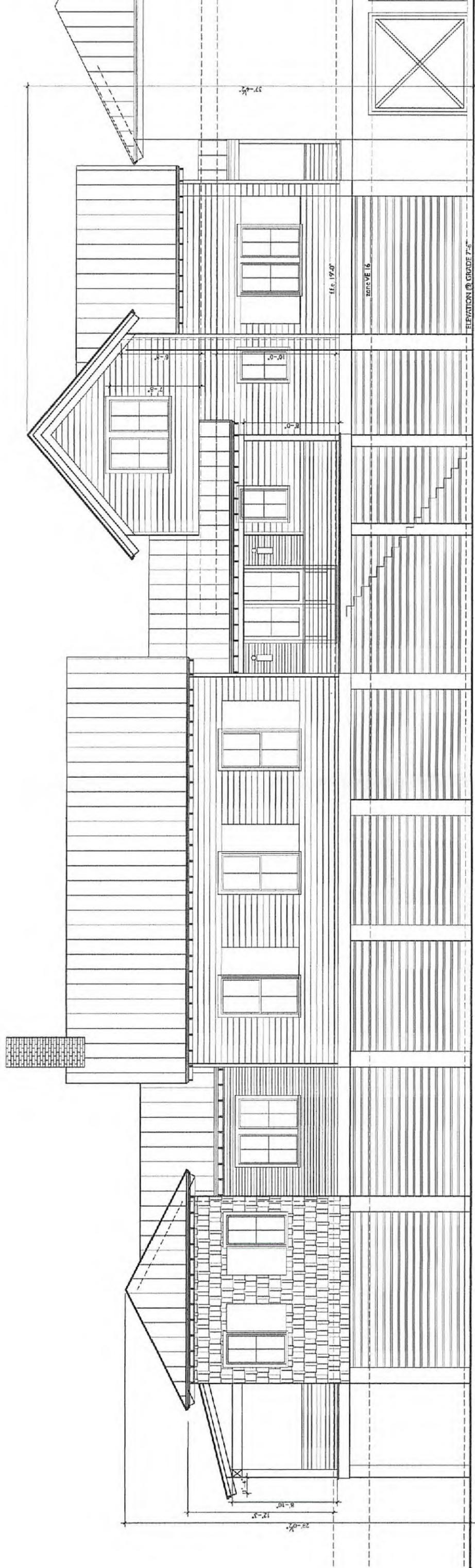




- METAL ROOF
- 3/4" x 8 FRIEZE
- OPEN RAFTER
- CLAD WOOD SHUTTER
- LOWELED WOOD SHUTTER
- 2 X 4 WOOD CASING
- 8" UP SOING
- 2x4 CORNER BOARD
- 1x6 WOOD RAJING
- 6x6 WOOD COLUMN
- 12x12 WOOD PIER

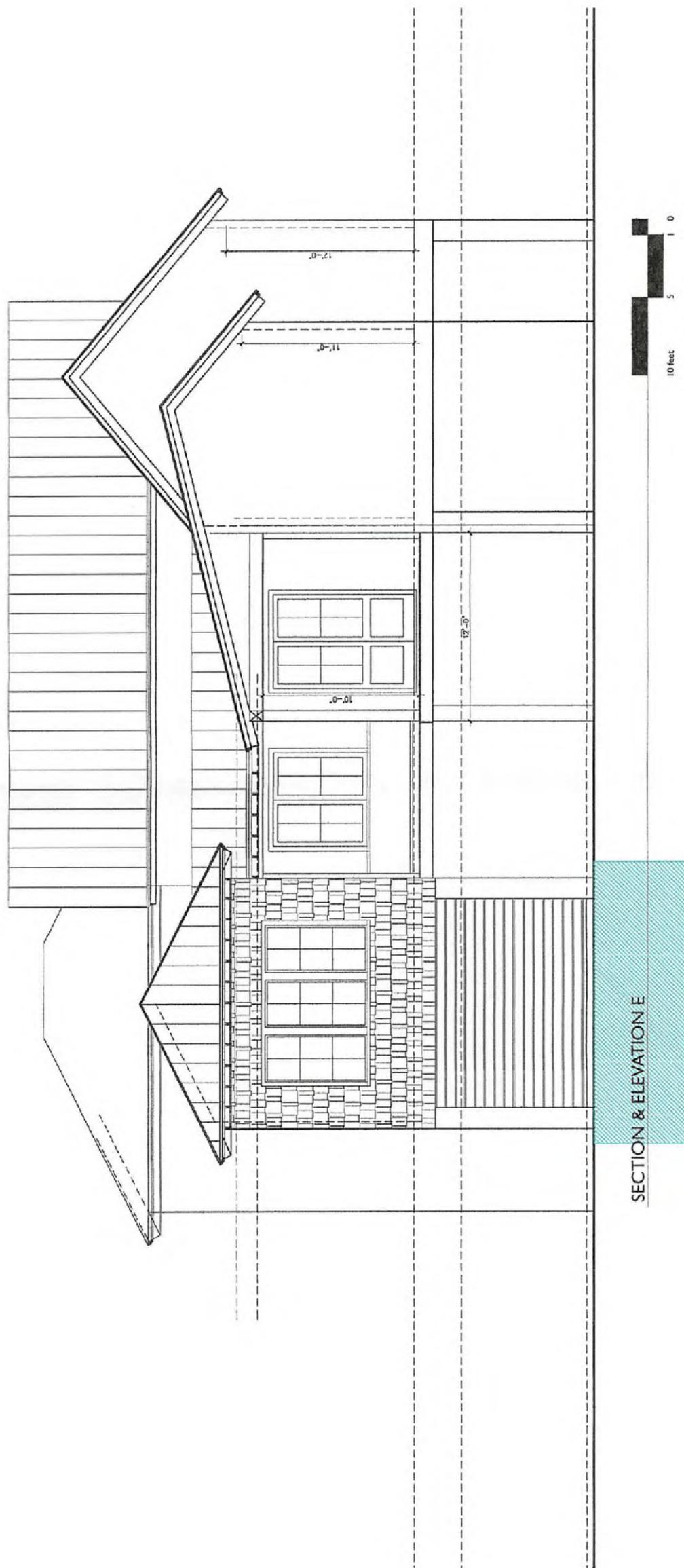
ELEVATION C





ELEVATION D





# FINAL SUBMITTAL CHECKLIST

## Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

2112 Atlantic Avenue

Submittal Date:

9/23/16

Meeting Date:

10/19/16

Requested Approval:

Conceptual

Preliminary

Final

**Final Review:**

All Applicants are strongly encouraged to submit for Conceptual Review prior to submitting for Final Review. Only the simplest of requests is likely to pass final review without having first received Conceptual Approval. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.**

The following items shall be included in the Final Submittal:

- Application fee (*checks payable to Sullivan's Island Design Review Board*)
- Completed Application to Sullivan's Island Review Board form (**FORM A**)
- Completed Sullivan's Island DRB Request for Review form (**FORM B**)
- Completed Zoning Standards Compliance Worksheet (**FORM C**)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
  - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [ 1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint, illustrating the following:
    - All applicable Flood Zone information
    - Setbacks, Property Lines, and Easements
    - Spot elevations required to comply with Section 21-24
    - OCRM Critical Lines, if applicable
    - Trees
    - Location of HVAC/ Equipment stands and electrical meter
    - Driveways, guest parking, garage back-up areas
  - Site Plan [ 1/16" = 1'-0" OR 1" = 20'-0" scale ], illustrating the following:
    - Existing Structures, if applicable
    - Proposed new structures
    - All applicable survey information
  - Floor Plans [ 1/8" = 1'-0" scale ], with the following requirements:
    - Exterior dimensions for exterior walls and porches
    - Graphically depict the outlines of heated space, covered porches and open decks.
    - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
  - Exterior Elevations [ 1/8" = 1'-0" scale ], with the following requirements:
    - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
    - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
    - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
    - Additional front yard setback shown on both side elevations for clarity.
  - Optional:
    - 3-D perspective sketches and / or models are encouraged.
    - Any relevant photographs or documentation that might be descriptive.



# REQUEST FOR REVIEW FORM (FORM B)

## Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2112 Atlantic Avenue  
 Submittal Date 9/23/16  
 Meeting Date: 10/19/16

### BREAKDOWN OF LOT COVERAGES

<b>Lot Information:</b>	
Total Lot Size in Square Feet:	<u>22679</u> sf
Lot Width:	<u>108 SF</u>
Lot Depth:	<u>210 SF</u>
Flood Zone / Base Flood Elevation:	<u>VE17</u>

<b>Sec. 21-25 Principal Building Coverage Area</b>	
Principal Building Footprint:	<u>1885</u> sf
Accessory Building Footprint:	_____ sf
<b>Total Principal Bldg. Coverage Area:</b>	<u>1885</u> sf
(Principal Building plus Accessory Structure)	

<b>Sec. 21-26 Impervious Coverage</b>	
Principal Building Coverage Area	<u>1910</u> sf
Covered Porches:	_____ sf
Open Decks / Steps:	_____ sf
Pool / Patio:	_____ sf
Drives / Walks:	<u>1647</u> sf
Other Impervious Coverage	_____ sf
<b>Total Impervious Coverage</b>	<u>3557</u> sf

<b>Sec. 21-27 Principal Building Square Footage</b>	
First Floor	<u>1885</u> sf
Second Floor	<u>1885</u> sf
Third Floor	<u>460</u> sf
Accessory Building	_____ sf
<b>Total Principal Building Square Footage:</b>	<u>4230</u> sf
(Principal Building plus Accessory Structure)	

### EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

\* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

NOT ALTERED

Foundation: _____	Roof: _____
Walls: _____	Windows: _____
Trim: _____	Doors: _____

### Sec. 21-111 Standards of Neighborhood Compatibility

**NOTE:** Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply)       Narrative attached       Will discuss at presentation       Not Applicable (no relief req.)

# ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

## Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

2112 Atlantic Avenue

Submittal Date:

9/23/16

Meeting Date:

10/19/16

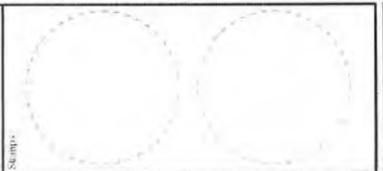
		Zoning Ordinance Reference Section	Zoning Standard	√ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in Ft./ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
<b>SETBACKS</b>	<b>A</b>	21-22 Front Setback	25 feet	N/A	15% (3.75')			
	<b>B</b>	21-22 Additional Front Yard Setback	45° above 20'	N/A	15%			
	<b>C</b>	21-22 Side Setback	Per lot; Enter Result: ____min.; ____comb.	N/A	25%			
	<b>D</b>	21-22 Side Setback 2nd Floor Setback	2 feet	N/A	100%			
	<b>E</b>	21-22 Rear Setback	25 feet	N/A	None			
<b>LOT COVERAGE</b>	<b>F</b>	21-25 Principal Building Coverage	as per formula: Enter Result _____sf	N/A	20% _____sf			
	<b>G</b>	21-26 Impervious Coverage	as per formula: Enter Result _____%sf maximum	✓	N/A	N/A	N/A	N/A
	<b>H</b>	21-27 Principal Building Square Footage	as per formula: Enter Result <u>4168</u> sf		25% <u>1092</u> sf	<u>62</u> sf	<u>1.5%</u>	<u>4230</u> sf
	<b>I</b>	21-28 Third Story	as per formula: Enter Result <u>400</u> sf		15% <u>60</u> sf	<u>60</u> sf	<u>15%</u>	<u>460</u> sf
<b>DESIGN STANDARDS</b>	<b>J</b>	21-29 Principal Building Front Façade	as per formula: Enter Result _____sf	N/A	100%			
	<b>K</b>	21-29 Principal Building Side Façade	as per formula: Enter Result _____sf	N/A	100%			
	<b>L</b>	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots	N/A	Adjust for Neighborhood Compatibility			
	<b>M</b>	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor	N/A	1 foot			
	<b>N</b>	21-32 Foundation Enclosure	Check Ordinance	N/A	Adjust for Neighborhood Compatibility			
	<b>O</b>	21-34 Site Lighting	Check Ordinance	N/A	Adjust for Neighborhood Compatibility			

No.	Issued For	Date
1	Conceptual Design	
2	DRB Review	10/19/2016
3		
4		
5		

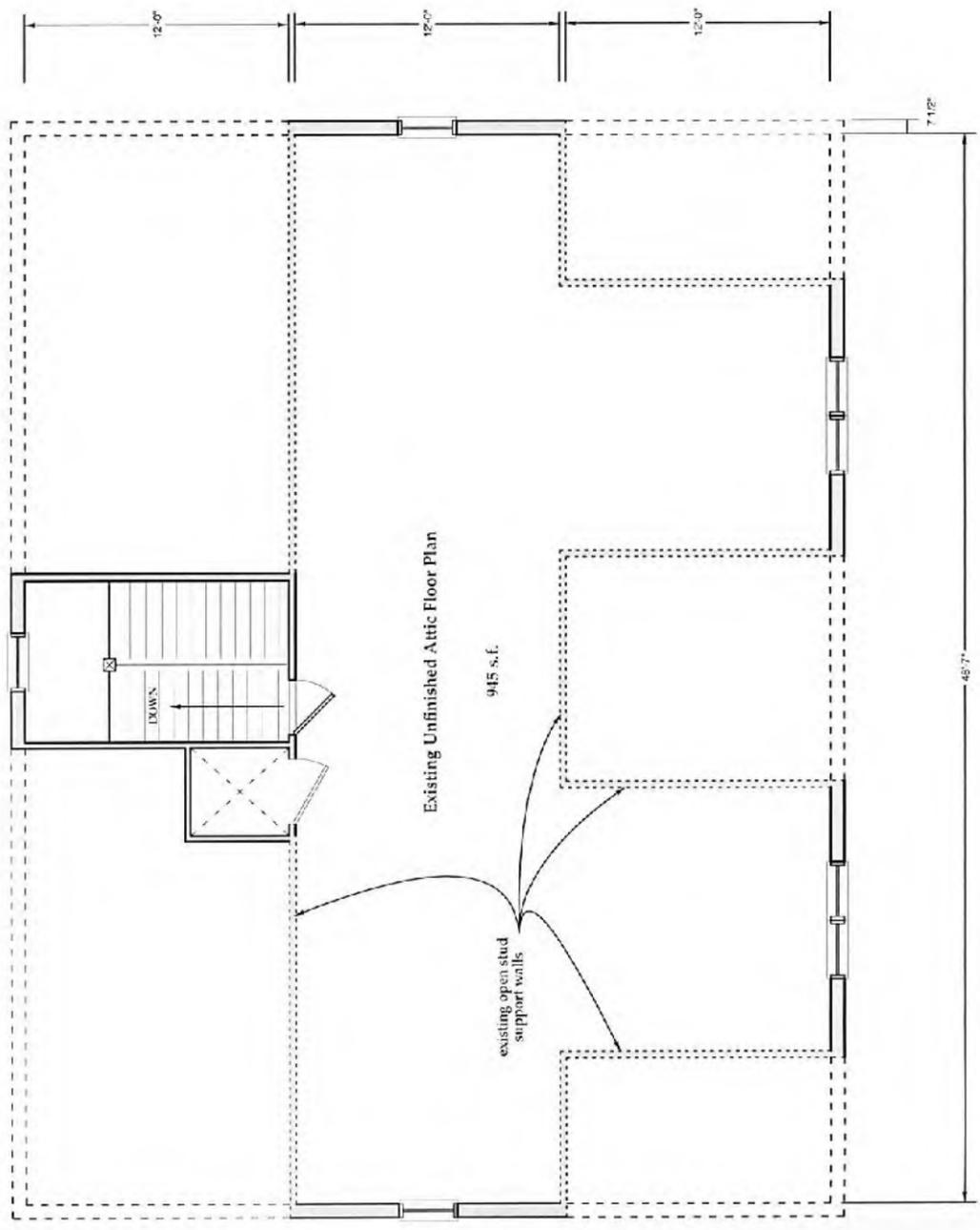
The Brown Renovations  
 2112 Atlantic Ave  
 Sullivan's Island SC



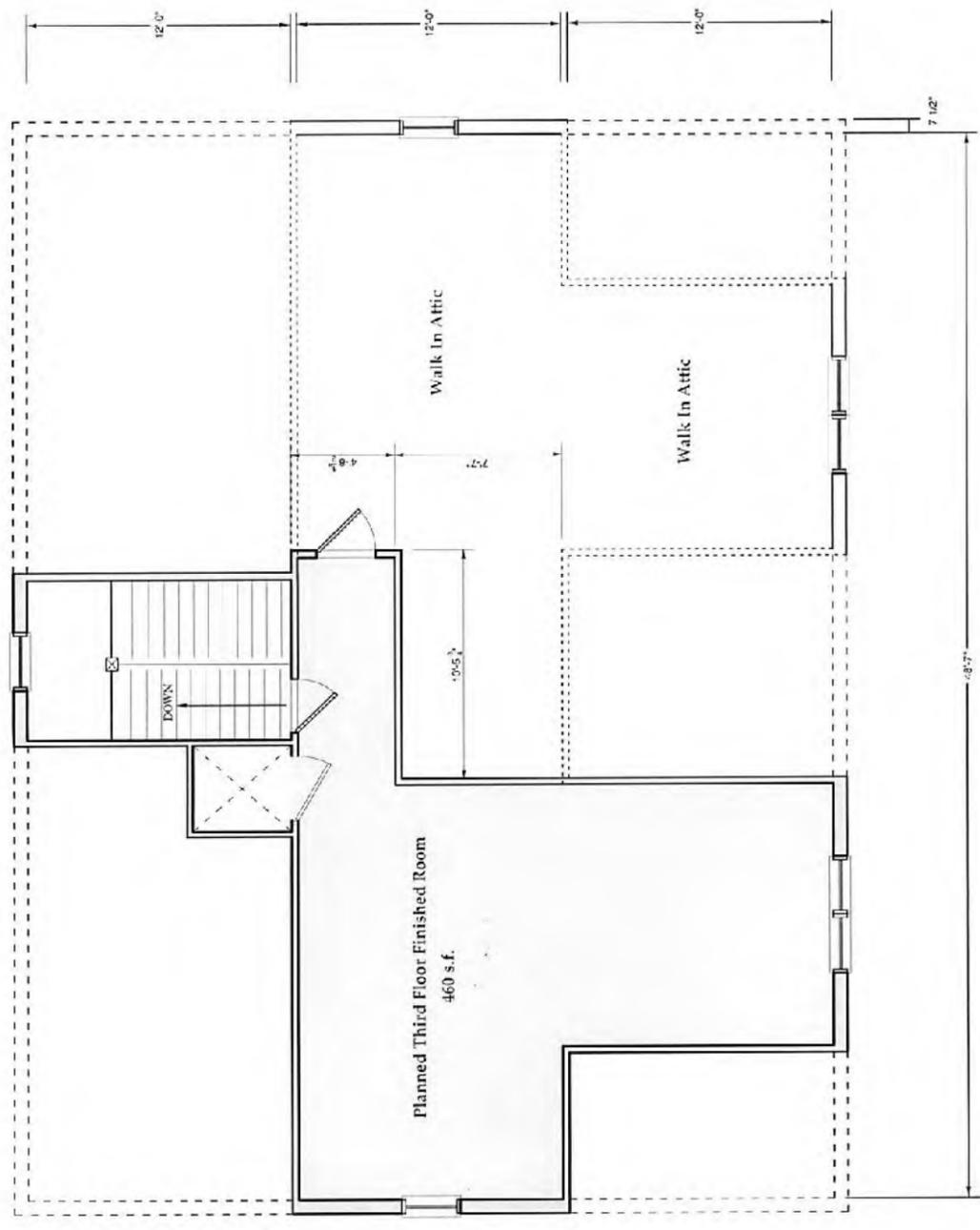
HERLONG & ASSOCIATES, INC.  
 ARCHITECTURE  
 INTERIORS  
 2214 Atlantic Street • Sullivan's Island, SC 29929  
 (843) 407-1190 • herlongandassociates.com



Plot Date	7-4-2016
Project No.	
Drawn	SAR
Checked/Title	



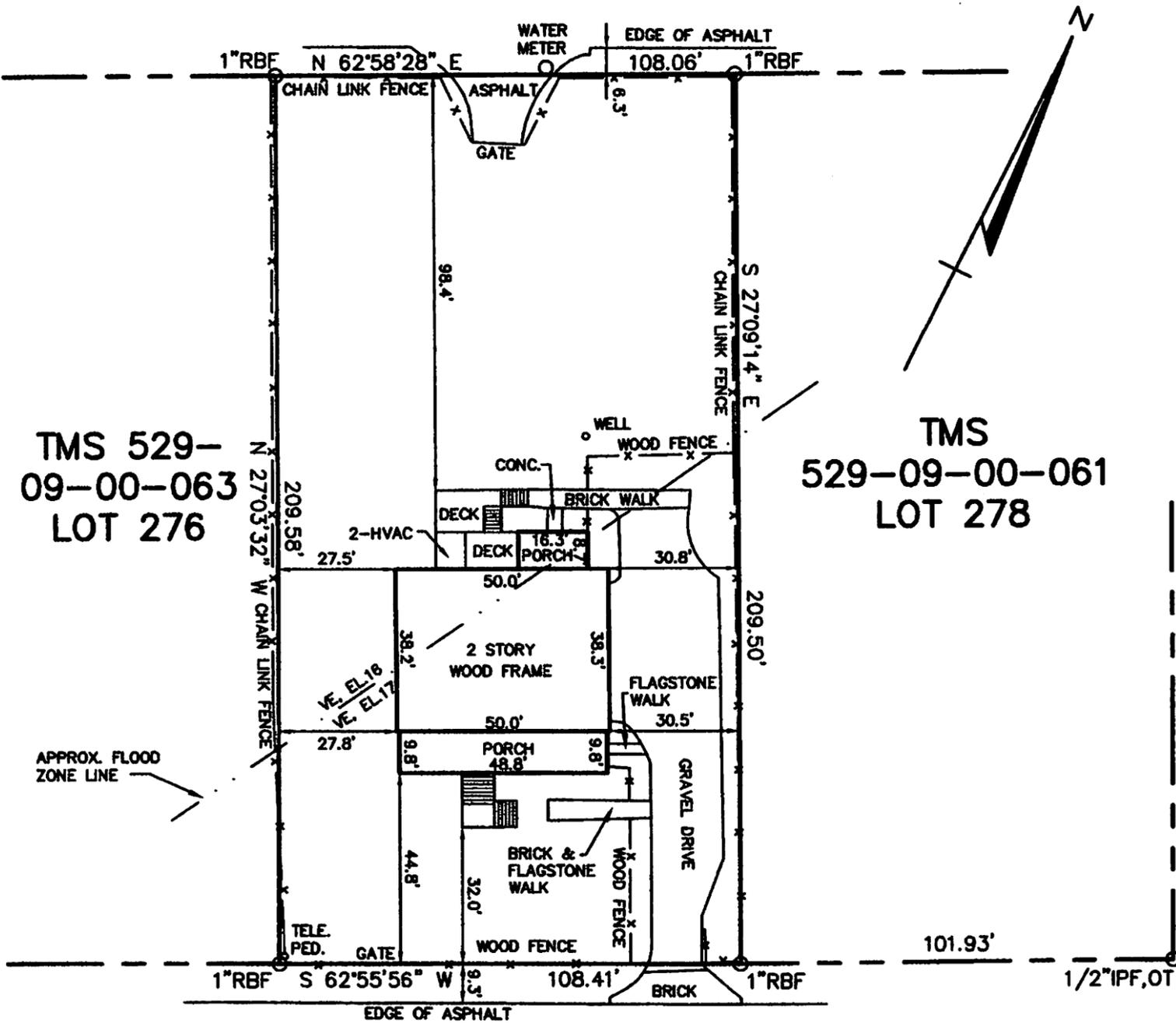
**1** Existing Third Floor Plan  
 Scale: 1/4" = 1'-0"  
 + 878 sq ft



**1** Proposed Third Floor Plan  
 Scale: 1/4" = 1'-0"  
 + 878 sq ft

The information illustrated on this drawing was created specifically for this third floor renovation project and may not be used for any other purpose without the written permission of Herlong & Associates, Inc. © 2016 Herlong & Associates, Inc.

ION AVENUE 50' R/W



ATLANTIC AVENUE 50' R/W

AREA OF THIS PROPERTY IS 0.521 AC. (22,679 S.F.)

LOT COVERAGE:  
 ENCLOSED PRINCIPAL BUILDING = 8.4% (1,910 SQ.FT.)  
 IMPERVIOUS SURFACES = 7.3% (1,647 SQ.FT.)  
 PERVIOUS HARD SURFACES = 9.2% (2,076 SQ.FT.)  
 LANDSCAPE SURFACES = 75.1% (17,046 SQ.FT.)

LEGEND:  
 IPF,OT - IRON PIPE FOUND, OPEN TOP  
 RBF - REBAR FOUND

TAX MAP 529-09-00-062

BY FEMA FIRM 45019C0539J DATED NOVEMBER 17, 2004 (INDEX SAME DATE) THIS PROPERTY IS IN FLOOD ZONE VE, ELEVATION 16 & FLOOD ZONE VE, ELEVATION 17.

REFERENCES:  
 MOULTRIEVILLE MAP DATED APRIL 1902 RECORDED IN PLAT BOOK D, PAGE 189 IN THE CHARLESTON COUNTY R.M.C. OFFICE.

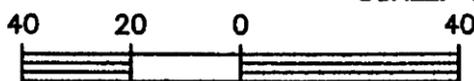


I, Thomas V. Bessent, a Professional Land Surveyor of the State of South Carolina, hereby state that to the best of my knowledge, information, and belief, the survey shown herein was made in accordance with the requirements of Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a Class A survey as specified therein; also there are no visible encroachments or projections other than shown.

**FINAL SURVEY  
 PREPARED FOR  
 GWYNETH J. NEUSS  
 2112 ATLANTIC AVENUE  
 LOT 277 MOULTRIEVILLE  
 TOWN OF SULLIVANS ISLAND  
 CHARLESTON COUNTY, SC**

SCALE: 1"=40'

NOVEMBER 13, 2006



SCALE IN FEET

*Thomas V. Bessent*

**Island Surveying Inc**

THOMAS V. BESSENT  
 LAND SURVEYOR  
 S.C. Reg. No. 10778

1312 Folly Road, Charleston, SC 29412  
 Phone (843) 225-6582 Fax (843) 225-6587

PROJECT # 06370

# FINAL SUBMITTAL CHECKLIST

## Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 3020 ION Ave.

Submittal Date: \_\_\_\_\_

Meeting Date: Oct 19th

Requested Approval:  Conceptual  Preliminary  Final

**Final Review:** All Applicants are strongly encouraged to submit for Conceptual Review prior to submitting for Final Review. Only the simplest of requests is likely to pass final review without having first received Conceptual Approval. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting Agenda.**

The following items shall be included in the Final Submittal:

- Application fee (*checks payable to Sullivan's Island Design Review Board*)
- Completed Application to Sullivan's Island Review Board form (**FORM A**)
- Completed Sullivan's Island DRB Request for Review form (**FORM B**)
- Completed Zoning Standards Compliance Worksheet (**FORM C**)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
  - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor[ 1/16"= 1'-0" OR 1"= 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint, illustrating the following:
    - All applicable Flood Zone information
    - Setbacks, Property Lines, and Easements
    - Spot elevations required to comply with Section 21-24
    - OCRM Critical Lines, if applicable
    - Trees
    - Location of HVAC/ Equipment stands and electrical meter
    - Driveways, guest parking, garage back-up areas
  - Site Plan [ 1/16" = 1'-0" OR 1" = 20'-0" scale ], illustrating the following:
    - Existing Structures, if applicable
    - Proposed new structures
    - All applicable survey information
  - Floor Plans [ 1/8" = 1'-0" scale ], with the following requirements:
    - Exterior dimensions for exterior walls and porches
    - Graphically depict the outlines of heated space, covered porches and open decks.
    - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
  - Exterior Elevations [ 1/8" = 1'-0" scale ], with the following requirements:
    - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
    - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
    - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
    - Additional front yard setback shown on both side elevations for clarity.
  - Optional:
    - 3-D perspective sketches and / or models are encouraged.
    - Any relevant photographs or documentation that might be descriptive.



# REQUEST FOR REVIEW FORM (FORM B)

## Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 3020 ION Avenue

Submittal Date \_\_\_\_\_

Meeting Date: Oct 19th

### BREAKDOWN OF LOT COVERAGES

Lot Information:	
Total Lot Size in Square Feet:	<u>14490</u> sf
Lot Width:	<u>100</u>
Lot Depth:	<u>144.71</u>
Flood Zone / Base Flood Elevation:	<u>AE15</u>

Sec. 21-25 Principal Building Coverage Area	
Principal Building Footprint:	<u>2164</u> sf
Accessory Building Footprint:	_____ sf
Total Principal Bldg. Coverage Area:	<u>2164</u> sf
(Principal Building plus Accessory Structure)	

Sec. 21-26 Impervious Coverage	
Principal Building Coverage Area	<u>2190</u> sf
Covered Porches:	<u>868</u> sf
Open Decks / Steps:	<u>156</u> sf
Pool / Patio:	_____ sf
Drives / Walks:	<u>1078</u> sf
Other Impervious Coverage	_____ sf
Total Impervious Coverage	_____ sf

Sec. 21-27 Principal Building Square Footage	
First Floor	<u>2115</u> sf
Second Floor	<u>1167</u> sf
Third Floor	_____ sf
Accessory Building	_____ sf
Total Principal Building Square Footage:	<u>3282</u> sf
(Principal Building plus Accessory Structure)	

### EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

\* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: Block Stucco

Walls: Hardi

Trim: Treated painted

Roof: Metal

Windows: Anderson

Doors: Anderson

### Sec. 21-111 Standards of Neighborhood Compatibility

**NOTE:** Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

# ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

## Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

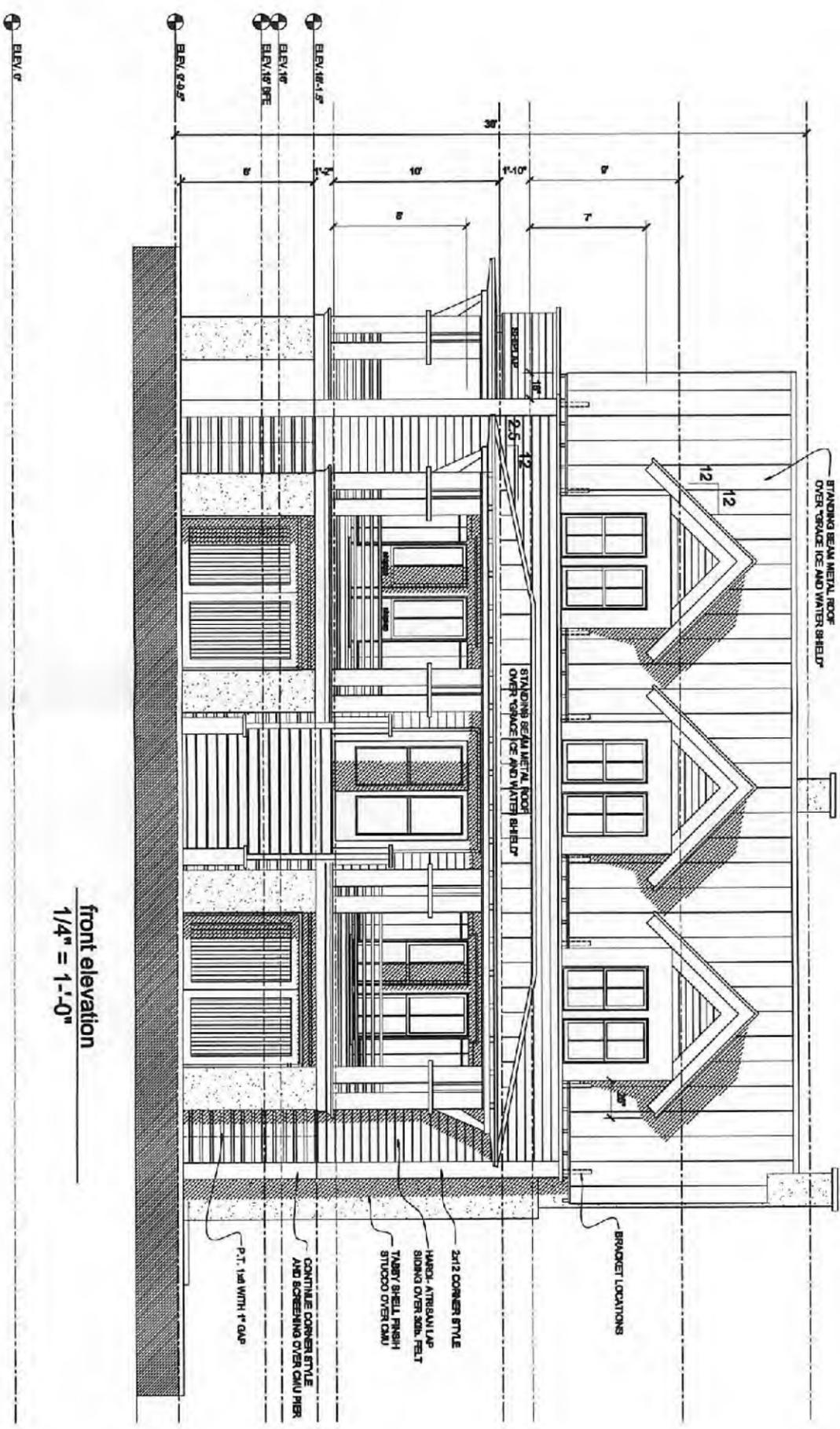
3000 Ion Avenue

Submittal Date:

10/19/16

Meeting Date:

		Zoning Ordinance Reference Section	Zoning Standard	✓ if meets standard	DRB's Max. Authority for Relief	Applicant's Request for Relief in FL/ Sq. Ft.	Percent (%) Relief Requested	Total Allowed + Requested Relief (SF)
<b>SETBACKS</b>	A	21-22 Front Setback	25 feet	✓	15% (3.75')			
	B	21-22 Additional Front Yard Setback	45° above 20'	/	15%			
	C	21-22 Side Setback	Per lot; Enter Result: ____ min.; ____ comb.	/	25%			
	D	21-22 Side Setback 2nd Floor Setback	2 feet	/	100%			
	E	21-22 Rear Setback	25 feet	/	None			
<b>LOT COVERAGE</b>	F	21-25 Principal Building Coverage	as per formula: Enter Result ____ sf	/	20% ____ sf			
	G	21-26 Impervious Coverage	as per formula: Enter Result <u>30%</u> sf maximum	✓	N/A	N/A	N/A	N/A
	H	21-27 Principal Building Square Footage	as per formula: Enter Result <u>3349</u> sf		25% <u>837.25</u> sf	<u>365</u> <del>660</del>	<u>11%</u> <del>11%</del>	<u>3714</u>
	I	21-28 Third Story	as per formula: Enter Result ____ sf		15% ____ sf			
<b>DESIGN STANDARDS</b>	J	21-29 Principal Building Front Façade	as per formula: Enter Result ____ sf		100%			
	K	21-29 Principal Building Side Façade	as per formula: Enter Result ____ sf		100%			
	L	21-30 Building Orientation	Towards ocean, excluding marsh and ocean lots		Adjust for Neighborhood Compatibility			
	M	21-30 Bldg. Foundation Height	3 feet above Base Flood Elev. To Finished First Floor		1 foot			
	N	21-32 Foundation Enclosure	Check Ordinance		Adjust for Neighborhood Compatibility			
	O	21-34 Site Lighting	Check Ordinance		Adjust for Neighborhood Compatibility			



front elevation  
1/4" = 1'-0"

SHEET  
**7**

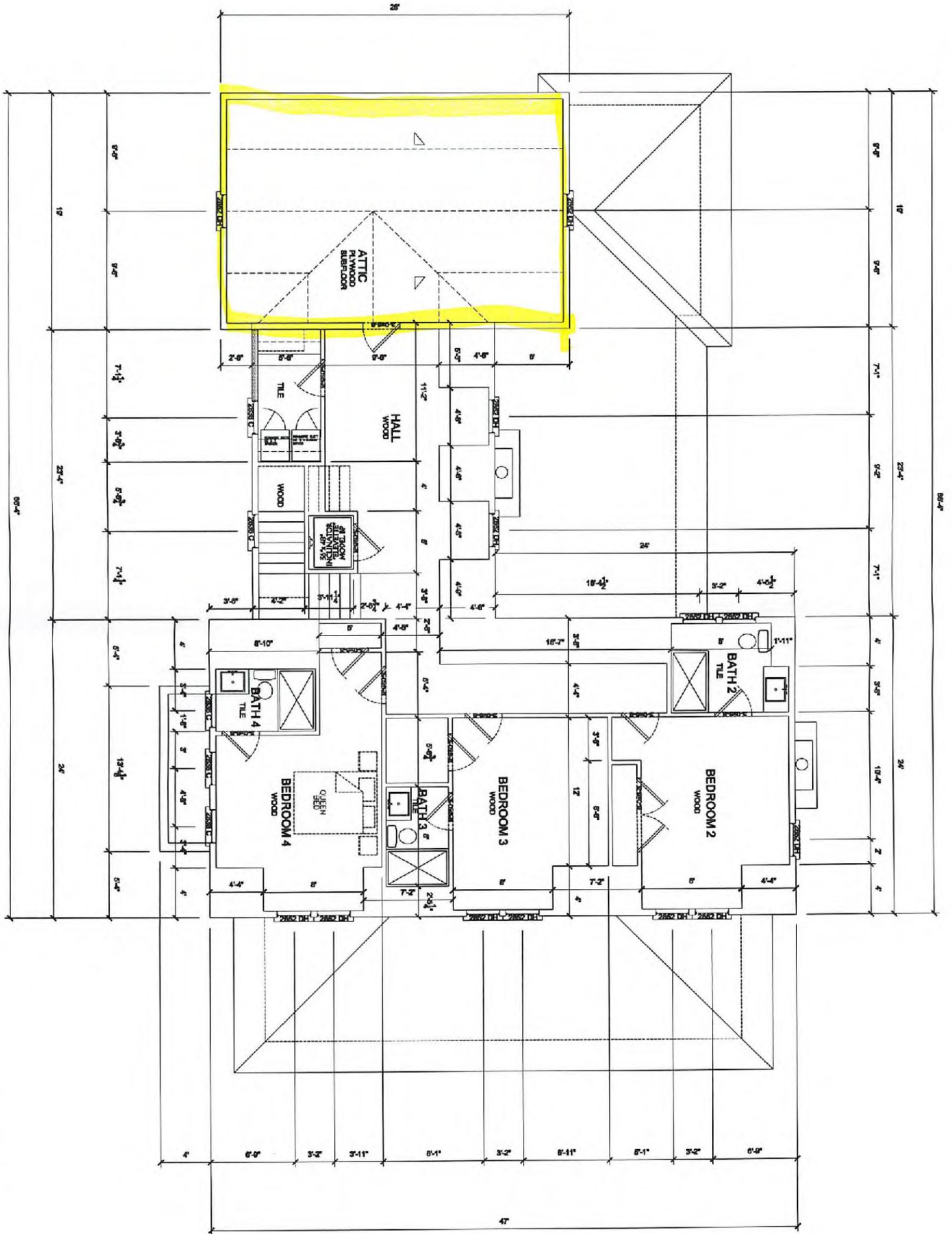
PROJECT  
LOT 4 - BLOCK 12 - ION AVE.  
SULLIVAN'S ISLAND SC  
SHEET NAME  
FRONT ELEVATION

M&3 DESIGNS LLC  
CARL MCANTS III  
843 - 971 - 1751  
mcdesigns@gmail.com

SQUARE FOOTAGE	
FIRST FLOOR	
SECOND FLOOR	
TOTAL HEATED	

REVISIONS

DATE  
5-14-15



SECOND FLOOR PLAN  
1/4" = 1'-0"

SHEET  
**5**

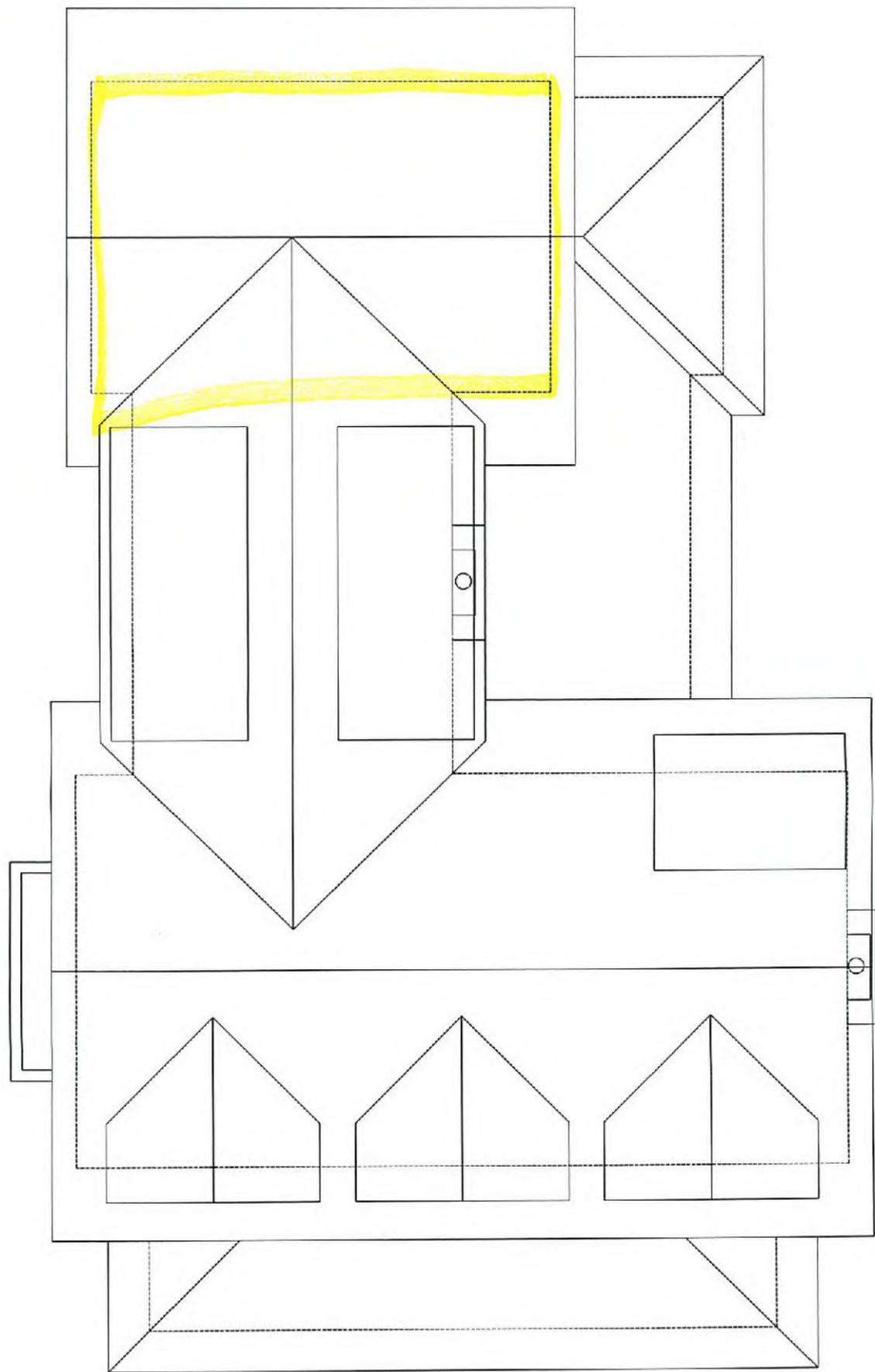
PROJECT  
LOT 4 - BLOCK 12 - ION AVE.  
SULLIVAN'S ISLAND SC  
SHEET NAME  
SECOND FLOOR PLAN

M63 DESIGNS LLC  
CARL MCANTS III  
843 - 971 - 1751  
mcd@mcants.com

SQUARE FOOTAGE  
FIRST FLOOR  
SECOND FLOOR  
TOTAL HEATED

REVISIONS

DATE  
5-11-15



SECOND FLOOR PLAN  
1/4" = 1'-0"

**6**  
SHEET

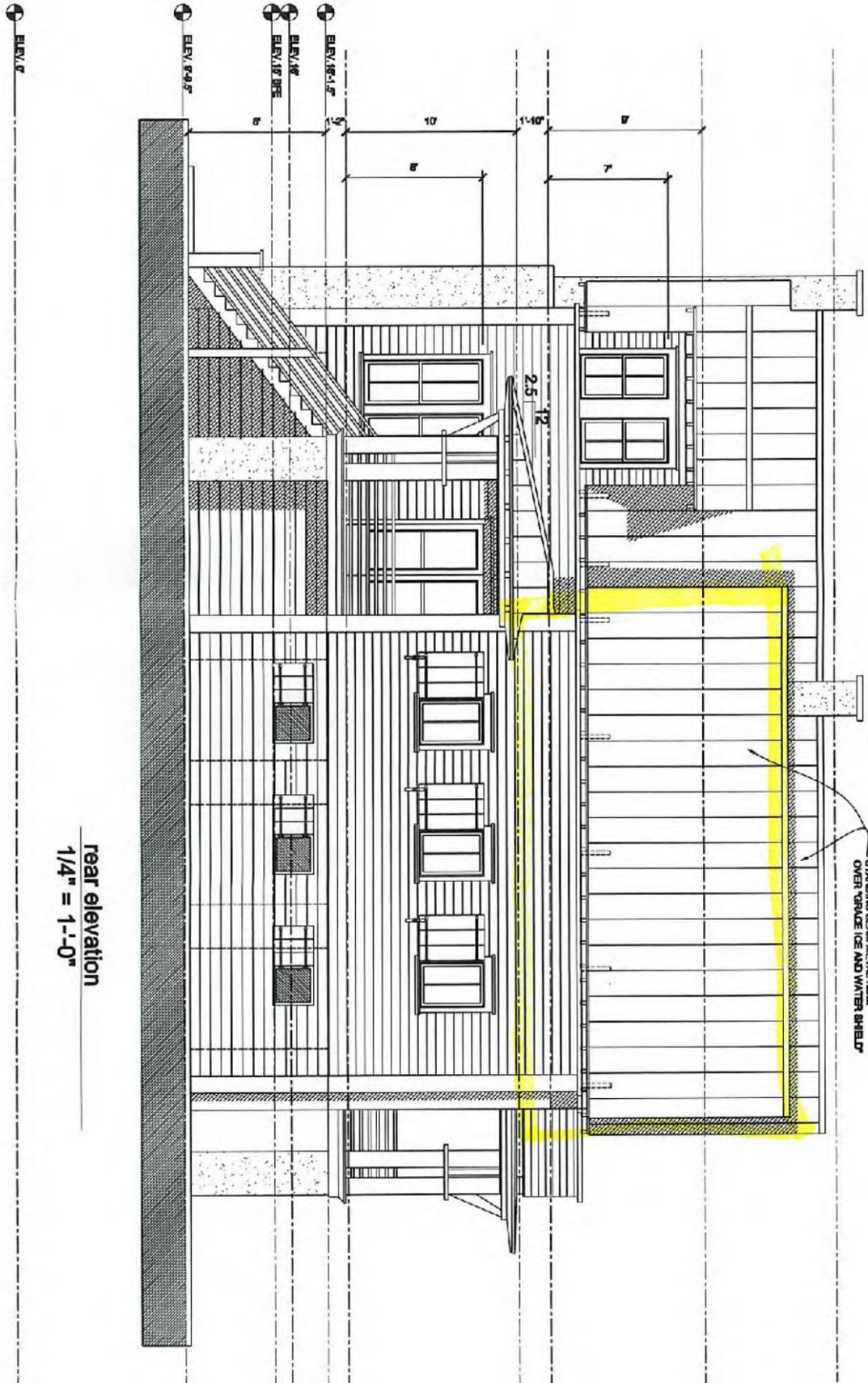
PROJECT  
LOT 4 - BLOCK 12 - ION AVE.  
SULLIVAN'S ISLAND SC  
SHEET NAME  
ROOF PLAN

M&3 DESIGNS INC  
CARL MCANTS III  
843 - 971 - 1751  
m3designs@gmail.com

SQUARE FOOTAGE
FIRST FLOOR
SECOND FLOOR
TOTAL HEATED

REVISIONS

DATE  
5-11-15



rear elevation  
1/4" = 1'-0"

**9**  
SHEET

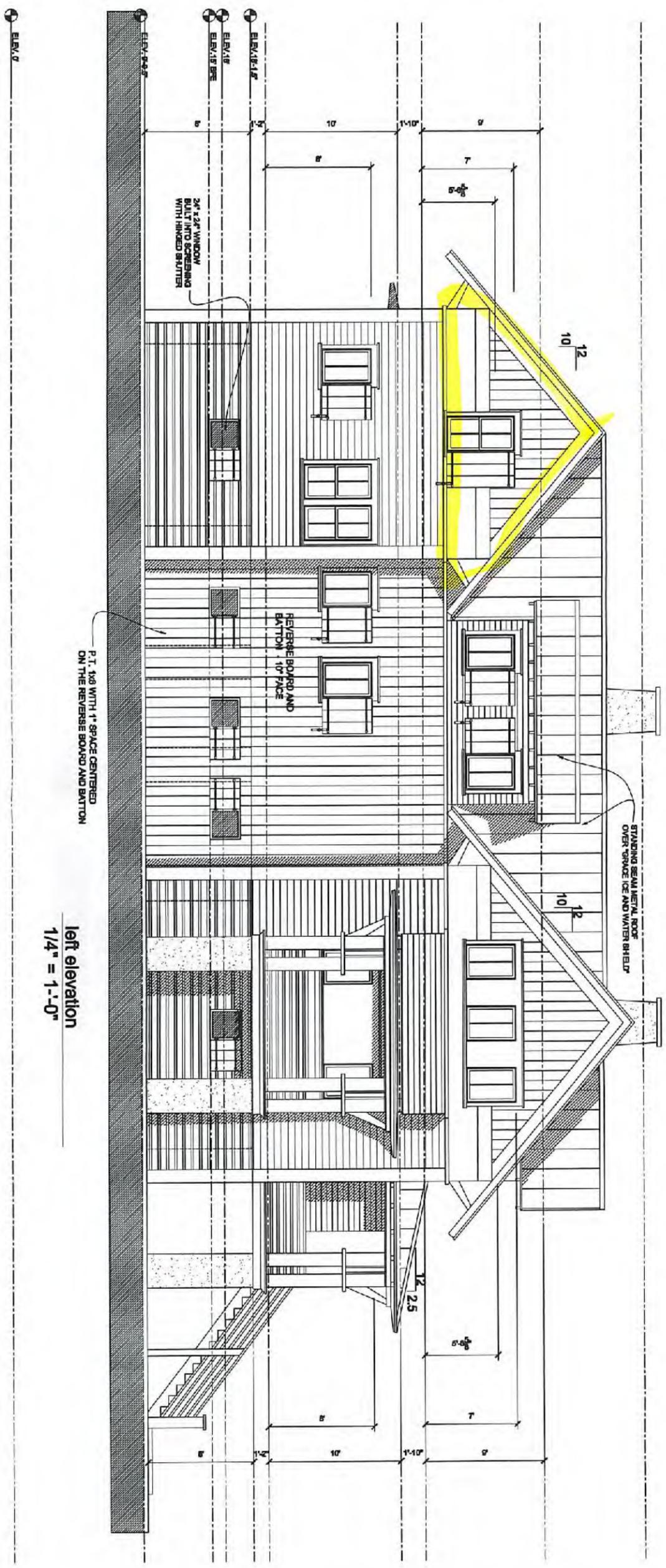
PROJECT  
LOT 4 - BLOCK 12 - ION AVE.  
SULLIVAN'S ISLAND SC  
SHEET NAME  
REAR ELEVATION

Mc3 DESIGNS LLC  
CARL MCANULTON III  
845 - 971 - 1751  
mcdesigns@gmail.com

SQUARE FOOTAGE  
FIRST FLOOR  
SECOND FLOOR  
TOTAL HEATED

REVISIONS

DATE  
5-11-15



left elevation  
1/4" = 1'-0"

**10**  
SHEET

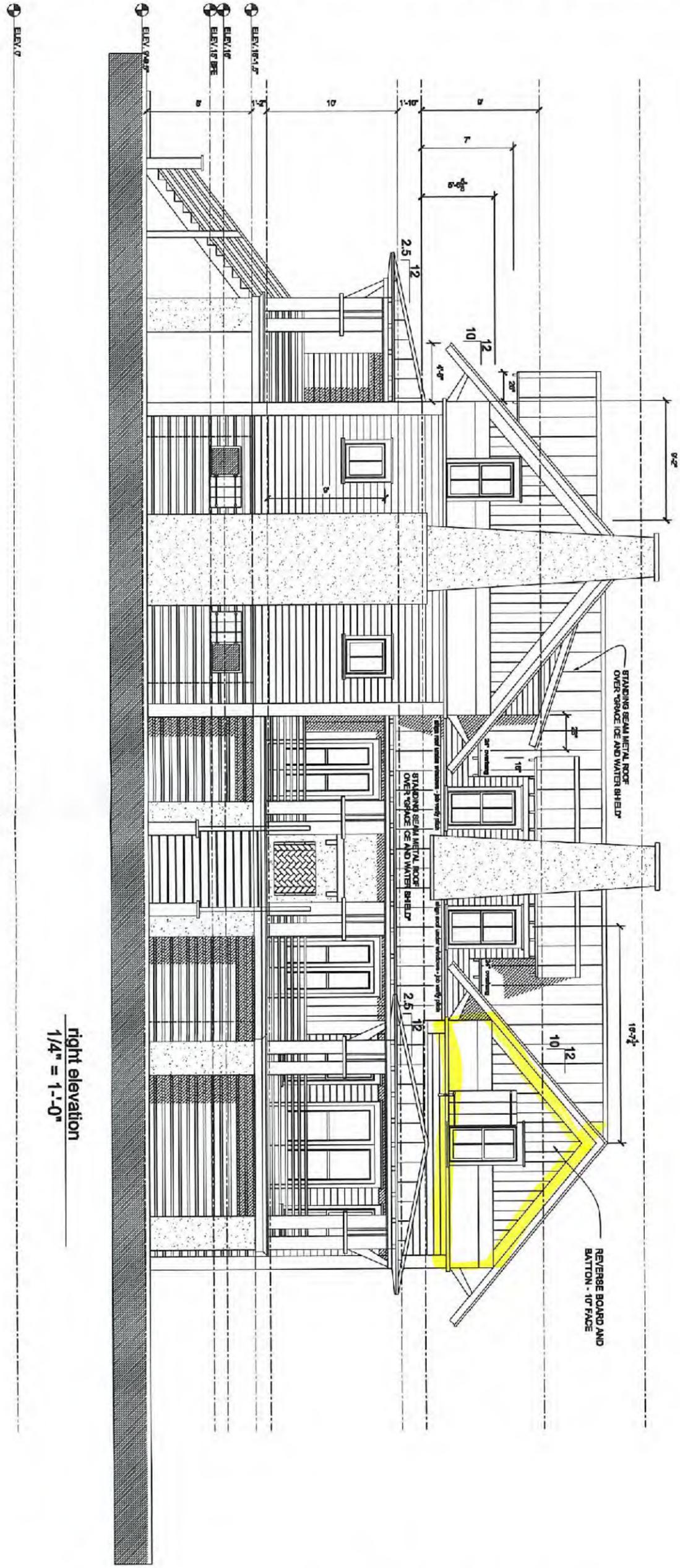
PROJECT  
LOT 4 - BLOCK 12 - ION AVE.  
SULLIVAN'S ISLAND SC  
SHEET NAME  
LEFT ELEVATION

M&3 DESIGNS LLC  
CARL MCANULTY III  
843 - 971 - 1751  
m3designs@gmail.com

SQUARE FOOTAGE  
FIRST FLOOR  
SECOND FLOOR  
TOTAL HEATED

REVISIONS

DATE  
5-11-15



right elevation  
1/4" = 1'-0"

**8**  
SHEET

PROJECT  
LOT 4 - BLOCK 12 - ION AVE.  
SULLIVAN'S ISLAND SC  
SHEET NAME  
RIGHT ELEVATION

M33 DESIGNS LLC  
CARL MCANTHILL  
843 - 971 - 1751  
m33designs@gmail.com

SQUARE FOOTAGE  
FIRST FLOOR  
SECOND FLOOR  
TOTAL HEATED

REVISIONS

DATE  
5-1-16