

PATRICK M. O'NEIL
MAYOR

TOWN OF SULLIVAN'S ISLAND

ANDY BENKE
TOWN ADMINISTRATOR

JASON BLANTON
DEPUTY ADMINISTRATOR/COMPTROLLER

LAWRENCE A. DODDS
TOWN ATTORNEY

GREG GRESS
WATER AND SEWER MANAGER

JOE HENDERSON
ZONING ADMINISTRATOR

DANIEL HOWARD
CHIEF OF POLICE

ELLEN MILLER
TOWN CLERK

RANDY ROBINSON
BUILDING OFFICIAL

M. ANTHONY STITH
FIRE CHIEF



DESIGN REVIEW BOARD

Wednesday, September 21, 2016 - 6:00 P.M.
Town Hall

- A. CALL TO ORDER
- B. APPROVAL OF MINUTES FROM AUGUST 17, 2016
- C. CERTIFICATES OF APPROPRIATENESS–HISTORIC PROPERTIES
 - 1. 2612 Jasper Boulevard: Myles Trudell, architect, requests approval for a detached garage and pool house storage shed for property designated as a Sullivan's Island Landmark. (TMS# 529-06-00-045)
- D. NON-HISTORIC PROPERTY DESIGN REVIEW
 - 1. 2301 Atlantic Avenue: Heather Wilson Architects, applicants, request approval of a single-family home construction and modification of the zoning standards for required side setbacks, principal building coverage, and principal building square footage. (TMS# 529-10-00-058)
- E. COMMERCIAL DESIGN REVIEW
 - 1. Taco Mamacita: Dan Sweeny, of Stumphouse Architects, requests approval of front and rear façade elevation modifications for an existing restaurant located at 2123-B Middle Street. (TMS# 529-09-00-117)
- F. PUBLIC INPUT
- G. ADJOURN

PRELIMINARY SUBMITTAL CHECKLIST

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2012 JASPER BLVD

Submittal Date: AUGUST 19, 2016

Meeting Date: SEPT. 21, 2016

Requested Approval: Conceptual Preliminary Final

Preliminary Review: Preliminary Reviews are required only at the request of the DRB after completion of a Conceptual Review. In addition to the formal requirements below, you may be asked to submit specific information or documentation by the DRB. Please submit all items as requested. **Incomplete submittals will be returned to the applicant and the project will not be part of the meeting**

The following items shall be included in the Preliminary Submittal:

- Application fee (*checks payable to Sullivan's Island Design Review Board*)
- Completed Application to Sullivan's Island Review Board form (**FORM A**)
- Completed Sullivan's Island DRB Request for Review form (**FORM B**)
- Completed Zoning Standards Compliance Worksheet (**FORM C**)
- Eleven (11) sets of Drawings, 11" x 17" size. Drawings to include:
 - A current As-Built Survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0" Required for all new construction and for work which expands or is outside of an existing building footprint , illustrating the following:
 - All applicable Flood Zone information
 - Setbacks, Property Lines, and Easements
 - Spot elevations required to comply with Section 21-24
 - OCRM Critical Lines, if applicable
 - Trees
 - Existing Structures, if applicable
 - Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:
 - Existing Structures, if applicable
 - Proposed new structures (with roof plan dashed above)
 - All applicable survey information
 - Floor Plans [1/8" = 1'-0" scale], with the following requirements:
 - Exterior dimensions for walls and porches
 - Graphically depict the outlines of heated space, covered porches and open decks.
 - In the case of Renovations and/or Additions, the outlines of existing and new construction must also be shown.
 - Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:
 - All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
 - Elevations must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing. Devoid of any graphically
 - Roof ridge heights and Finished Floor Elevation (FFE) and their relationship to FEMA Base Flood Elevation (BFE)
 - Additional Front Yard Setback shall be shown on both side elevations for clarity.
 - Any additional information or clarifications as may have been requested by the DRB at Conceptual Review
[including but not limited to Photographs of Adjacent Properties, Scale Models, Google Earth Images, and Perspective Sketches]

APPLICATION TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2612 JASPER BLVD.
 Submittal Date: AUGUST 19, 2016
 Meeting Date: SEPT. 21, 2016 Parcel I.D. (TMS#): 529-06-00-045

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

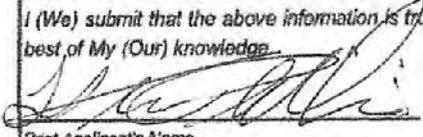
| | | |
|---|--|--|
| <input type="checkbox"/> Submittal is <i>outside</i> the Historic District, not classified historic, and requests DRB relief. | <input checked="" type="checkbox"/> Submittal is <i>within</i> the Historic District and is: <input checked="" type="checkbox"/> designated as Historic Resource <input checked="" type="checkbox"/> not designated as Historic Resource | <input type="checkbox"/> Submittal is <i>outside</i> the Historic District and _____ designated as Historic Resource Historic Survey #: _____ |
|---|--|--|

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

Owner's Name: STEVEN + CHRIS PHILLIPS Architect / Designer: MILES TRUDELL
 Address: 2612 JASPER BLVD Contact #: 843.276.0317
SULLIVAN'S ISLAND, SC email:
 email: sphillips1939@gmail.com Contractor: TRD
 Contact #: 843.247.0673 Contact #: _____
 email: _____

Enter a Brief Description of the Project and Scope of Work to be Performed:
CONSTRUCT TWO (2) ACCESSORY STRUCTURES AT 2612 JASPER BLVD.

| | | |
|--|---|--|
| I (We) submit that the above information is true to the best of My (Our) knowledge.  Part Applicant's Name | Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. Owner's Signature | Fee Received by _____ check # _____ |
|--|---|--|

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2012 JASPER BLVD

Submittal Date AUGUST 19, 2016

Meeting Date: SEPT 21, 2016

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet: 14,815 sf
Lot Width: 152'
Lot Depth: 104'
Flood Zone / Base Flood Elevation: AE 14

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint: 1,936 sf
Accessory Building Footprint: 702 sf
Total Principal Bldg. Coverage Area: 2,638 sf
(Principal Building plus Accessory Structure)

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area: 1,936 sf
Covered Porches: 460 sf
Open Decks / Steps: 239 sf
Pool / Patio: 297 sf
Drives / Walks: 155 sf
Other Impervious Coverage: 128 sf
Total Impervious Coverage: 3,215 sf

Sec. 21-27 Principal Building Square Footage

First Floor: 1,936 sf
Second Floor: N/A sf
Third Floor: N/A sf
Accessory Building: 356 sf
Total Principal Building Square Footage: 2,292 sf
(Principal Building plus Accessory Structure)

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: N/A

Roof: GALVALUME S-V

Walls: BOARD + BATTEN

Windows: WOOD CLAD

Trim: TREATED PINE

Doors: WOOD CLAD

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

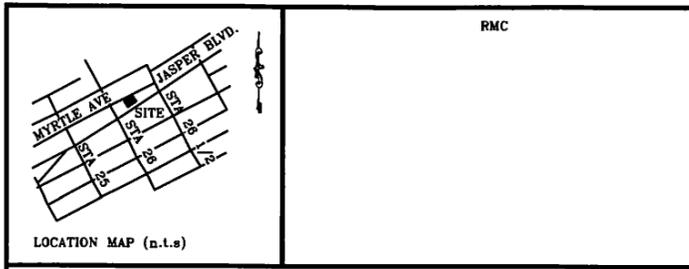
2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: _____

Submittal Date: _____

Meeting Date: _____

| | | Zoning Ordinance Reference Section | Zoning Standard | ✓ if meets standard | DRB's Max. Authority for Relief | Applicant's Request for Relief in Ft./ Sq. Ft. | Percent (%) Relief Requested | Total Allowed + Requested Relief (SF) |
|-------------------------|----------|--|---|---------------------|---|--|------------------------------|---------------------------------------|
| SETBACKS | A | 21-22 Front Setback | 25 feet | ✓ | 15% (3.75') | | | |
| | B | 21-22 Additional Front Yard Setback | 45° above 20' | ✓ | 15% | | | |
| | C | 21-22 Side Setback | Per lot; Enter Result: <u>10'</u> min.; <u>20'</u> comb. | ✓ | 25% | | | |
| | D | 21-22 Side Setback 2nd Floor Setback | 2 feet | N/A | 100% | | | |
| | E | 21-22 Rear Setback | 25 feet | | None | | | |
| LOT COVERAGE | F | 21-25 Principal Building Coverage | as per formula: Enter Result <u>1,936</u> sf | ✓ | 20% _____sf | | | |
| | G | 21-26 Impervious Coverage | as per formula: Enter Result <u>30%</u> sf maximum | ✓ | N/A | N/A | N/A | N/A |
| | H | 21-27 Principal Building Square Footage | as per formula: Enter Result <u>1,936</u> sf | ✓ | 25% _____sf | | | |
| | I | 21-28 Third Story | as per formula: Enter Result _____sf | N/A | 15% _____sf | | | |
| DESIGN STANDARDS | J | 21-29 Principal Building Front Façade | as per formula: Enter Result _____sf | N/A | 100% | | | |
| | K | 21-29 Principal Building Side Façade | as per formula: Enter Result _____sf | N/A | 100% | | | |
| | L | 21-30 Building Orientation | Towards ocean, excluding marsh and ocean lots | N/A | Adjust for Neighborhood Compatibility | | | |
| | M | 21-30 Bldg. Foundation Height | 3 feet above Base Flood Elev. To Finished First Floor | N/A | 1 foot | | | |
| | N | 21-32 Foundation Enclosure | Check Ordinance | N/A | Adjust for Neighborhood Compatibility | | | |
| | O | 21-34 Site Lighting | Check Ordinance | N/A | Adjust for Neighborhood Compatibility | | | |



- NOTES:**
1. AREA DETERMINED BY COORDINATES.
 2. THIS PROPERTY LIES IN FLOOD ZONE 'AE' ELEVATION 14 AS SHOWN ON FEMA MAP 45019C0539J DATED 11-17-04.
 - 3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 - 4) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - 5) DISTANCE SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
 - 6) DATE OF FIELD SURVEY APRIL, MAY 2014 & FEB. 2018.
 - 7) THE PURPOSE OF THIS SURVEY IS BOUNDARY SURVEY OF LOT 91 1/2 EAST.
 - 8) VERTICAL DATUM IS NGVD 29.
 - 9) ZONING IS RS. SETBACKS ARE 25' FRONT, 25' REAR, AND 15' SIDES.
 - 10) REAR BUILDING SETBACK CHANGED TO 14'. VARIANCE APPROVED ON JAN. 21, 2013

| LINE TABLE | | |
|------------|--------|-------------|
| LINE | LENGTH | BEARING |
| L1 | 1.84 | N23°03'01"W |

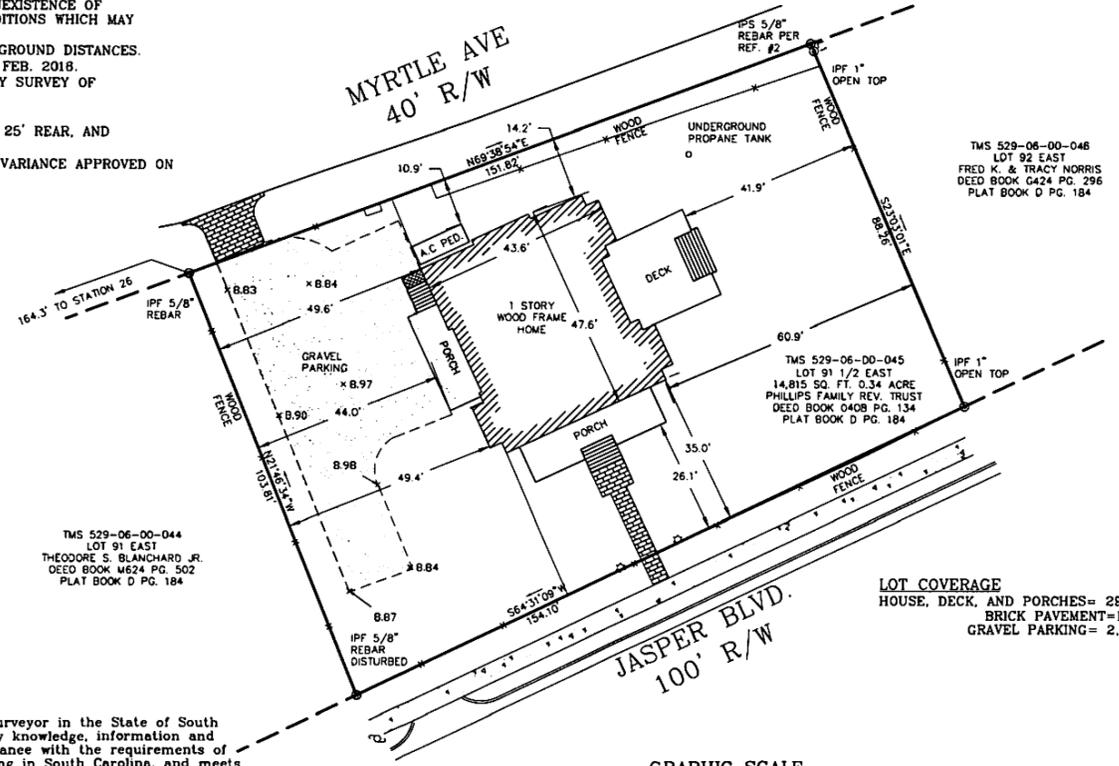
REFERENCES:

1. PLAT OF SULLIVAN'S ISLAND MOULTRIEVILLE, SC SURVEYED APRIL 1899 BY H.S. LAMBLE AND RECORDED AT THE CHARLESTON COUNTY RMC IN PLAT BOOK D PAGE 184.
2. PLAT OF 2612 JASPER BOULEVARD LOT 91 1/2 EAST END LOCATED ON SULLIVAN'S ISLAND CHARLESTON COUNTY SOUTH CAROLINA BY JOHN E. WADE JR. DATED MAY 1, 2013 PLAT IS UNRECORDED.

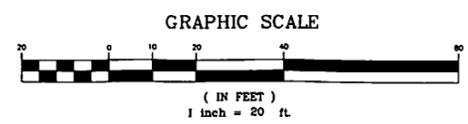
I, Matthew E. McBeath, a Professional Land Surveyor in the State of South Carolina, hereby state that to the best of my knowledge, information and belief, the survey herein was made in accordance with the requirements of the Standards of Practice Manual for Surveying in South Carolina, and meets or exceeds the requirements for a Class A Survey as specified therein, also there are no visible encroachments or projections other than shown. Witness my original signature and license number and seal on this day the 28th day of February 2018.

Matthew E. McBeath
 Matthew E. McBeath
 1500 Huxley Drive Mount Pleasant, South Carolina 29466
 Telephone (843) 856-1277

- LEGEND:**
- ⊙ IPS - IRON SET (5/8" REBAR UNLESS OTHERWISE NOTED)
 - ⊙ IPF - IRON FOUND (5/8" REBAR UNLESS OTHERWISE NOTED)
 - CMF - CONCRETE MONUMENT FOUND
 - SIGN
 - LIGHT POLE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - WATER WELL
 - SANITARY MANHOLE
 - POWER POLE
 - TELEPHONE PEDESTAL
 - STORM MANHOLE
 - WATER LINE
 - ADJACENT PROPERTY LINE



LOT COVERAGE
 HOUSE, DECK, AND PORCHES = 2832 SQ. FT.
 BRICK PAVEMENT = 155 SQ. FT.
 GRAVEL PARKING = 2,345 SQ. FT.

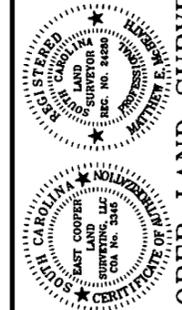


| | | |
|-------------|----------|----|
| DRAWN BY: | MEM | |
| CHECKED BY: | MEM | |
| DATE: | 5-28-14 | |
| JOB # | 1408B | |
| SCALE: | 1" = 20' | |
| DATE | REVISION | BY |
| | | |
| | | |

PREPARED FOR:
 PHILLIPS FAMILY REVOCABLE TRUST
 L. STEVEN PHILLIPS TRUSTEE

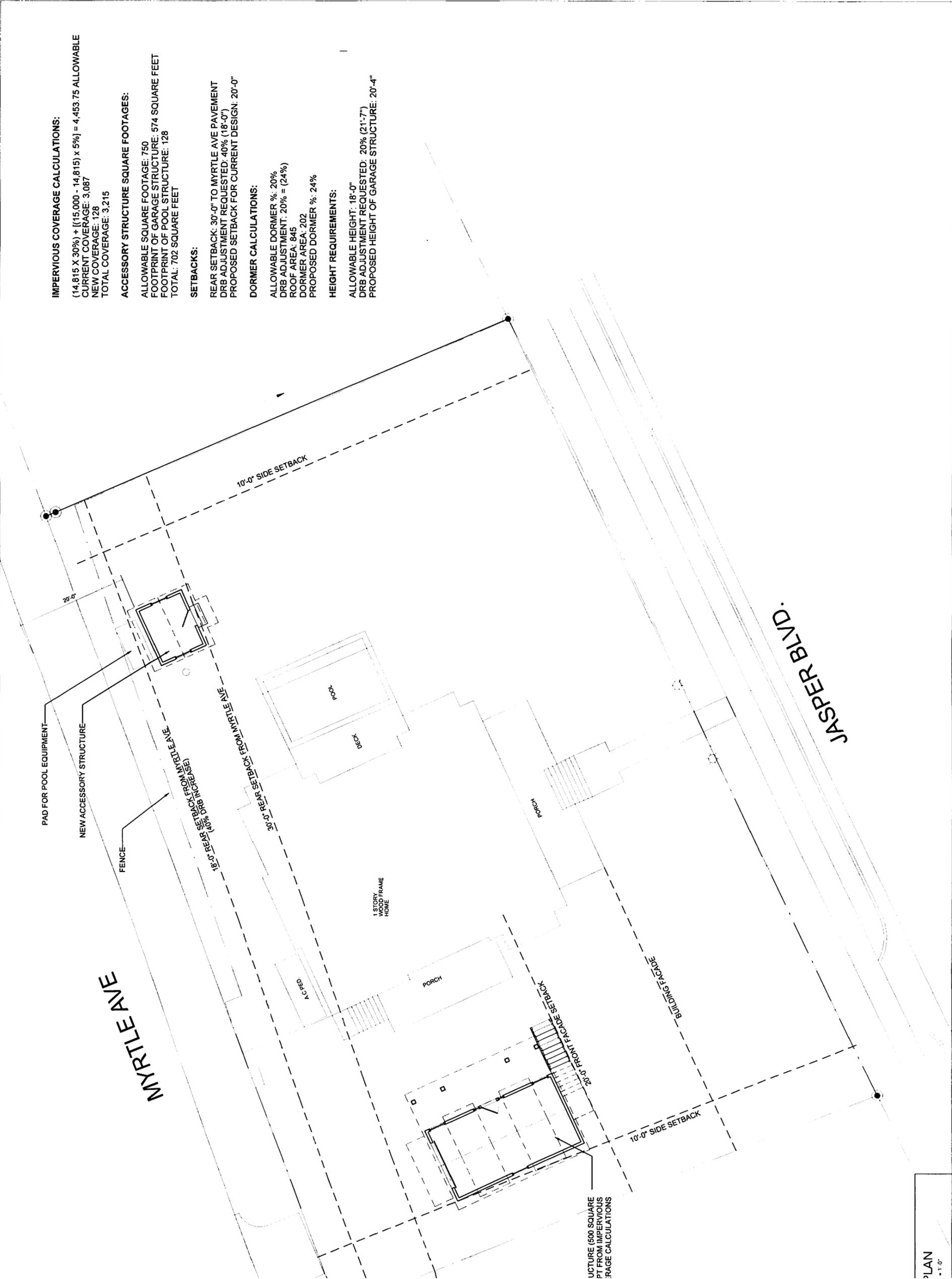
LOT 91 1/2 EAST
 SULLIVAN'S ISLAND
 2612 JASPER BLVD.
 TMS 529-06-00-045

SHEET
 1 OF 1



EAST COOPER LAND SURVEYING, LLC
 PROFESSIONAL LAND SURVEYORS
 1500 HUXLEY DRIVE MOUNT PLEASANT, SOUTH CAROLINA 29466
 OFFICE (843) 856-1277 E-MAIL: ecsls@BELLSOUTH.NET

BOUNDARY SURVEY



IMPERVIOUS COVERAGE CALCULATIONS:

$(14,815 \times 30\%) + [(15,000 - 14,815) \times 5\%] = 4,453.75$ ALLOWABLE
 CURRENT COVERAGE: 3,087
 NEW COVERAGE: 128
 TOTAL COVERAGE: 3,215

ACCESSORY STRUCTURE SQUARE FOOTAGES:

ALLOWABLE SQUARE FOOTAGE: 750
 FOOTPRINT OF GARAGE STRUCTURE: 574 SQUARE FEET
 FOOTPRINT OF POOL STRUCTURE: 128
 TOTAL: 702 SQUARE FEET

SETBACKS:

REAR SETBACK: 30'-0" TO MYRTLE AVE PAVEMENT
 DRB ADJUSTMENT REQUESTED: 40% (18'-0")
 PROPOSED SETBACK FOR CURRENT DESIGN: 20'-0"

DORMER CALCULATIONS:

ALLOWABLE DORMER %: 20%
 DRB ADJUSTMENT: 20% = (24%)
 ROOF AREA: 845
 DORMER AREA: 202
 PROPOSED DORMER %: 24%

HEIGHT REQUIREMENTS:

ALLOWABLE HEIGHT: 18'-0"
 DRB ADJUSTMENT REQUESTED: 20% (21'-7")
 PROPOSED HEIGHT OF GARAGE STRUCTURE: 20'-4"

MYLES TRUDELL ARCHITECT LLC
 12 STRATFORD ROAD
 CHARLESTON, SC 29407
 843.276.0317
 www.mylestrudell.com



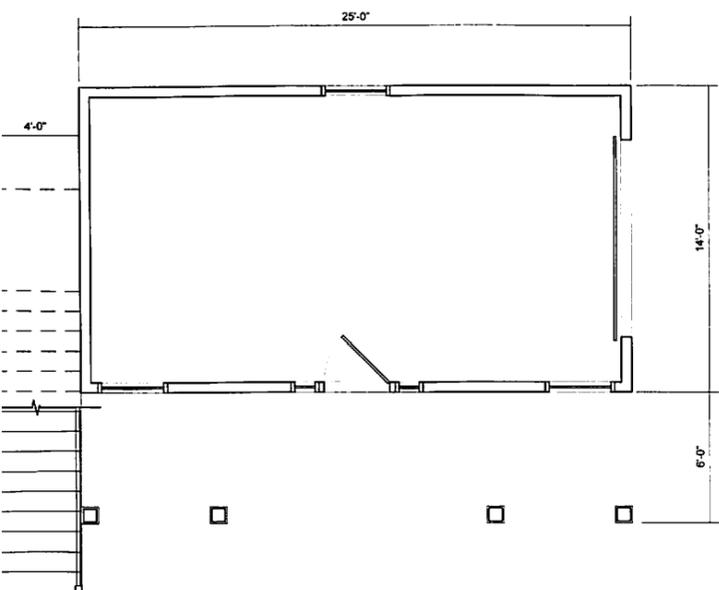
DRAWING ISSUES
 SULLIVAN'S ISLAND DRB SUBMITTAL 08 19 2016
 PROJECT TITLE

Phillips Ancillary Structures
 2612 Jasper Blvd
 Sullivan's Island, SC 29482

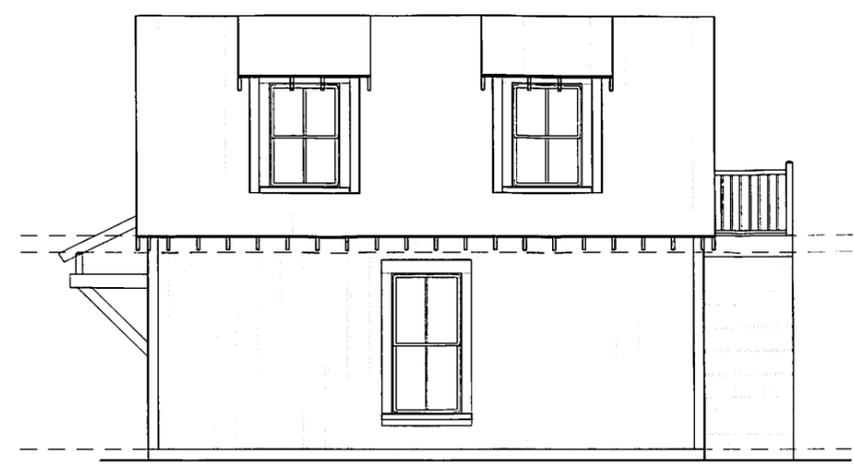
DRAWING NAME
SITE PLAN/ LOT CALCULATIONS
 PROJECT NO. 1608
 SHEET NUMBER

A100

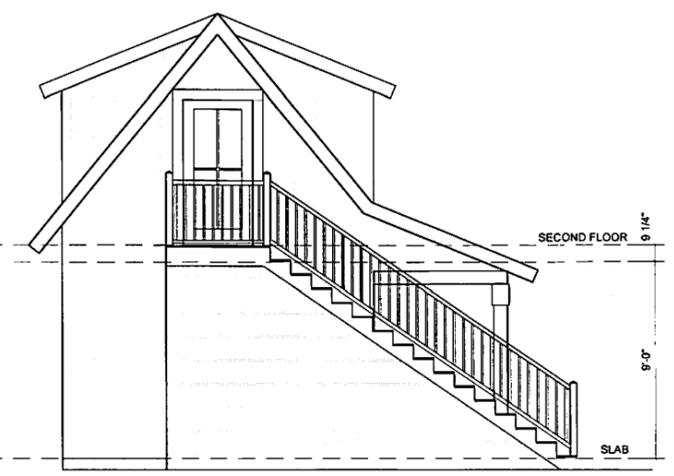
PLAN
 1"=10'



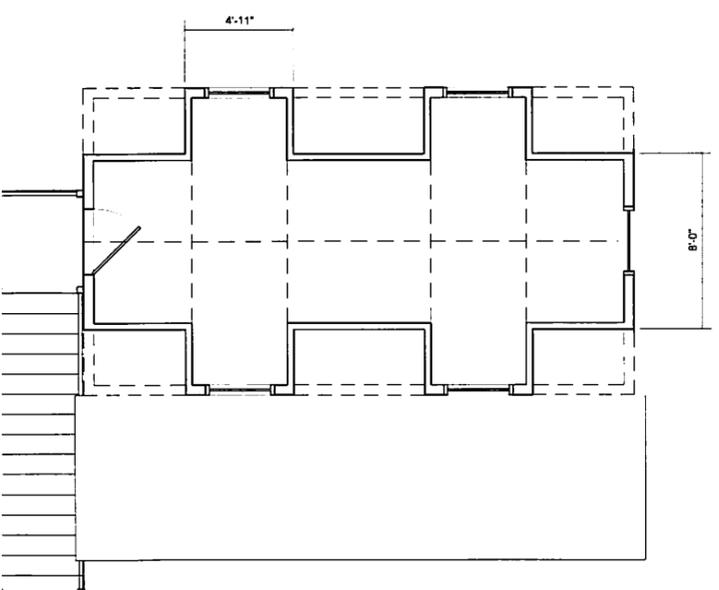
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



C4 EAST ELEVATION
SCALE: 1/4" = 1'-0"



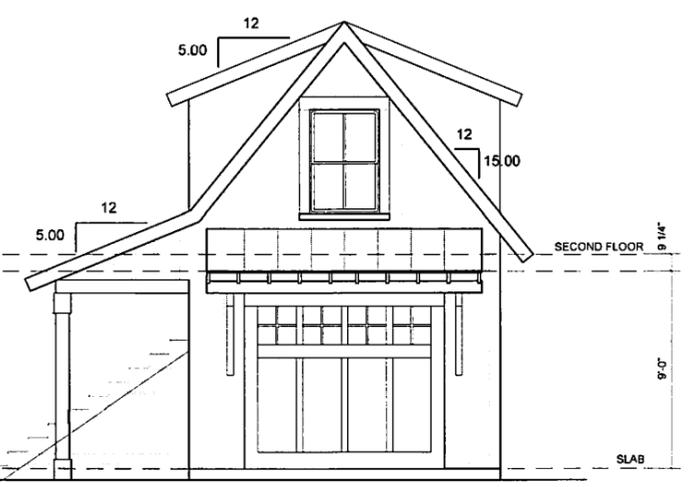
C6 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

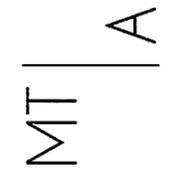


A4 WEST ELEVATION
SCALE: 1/4" = 1'-0"



A6 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MYLES TRUDELL ARCHITECT LLC
12 STRATFORD ROAD
CHARLESTON, SC 29407
843.276.0317
www.mylestrudell.com

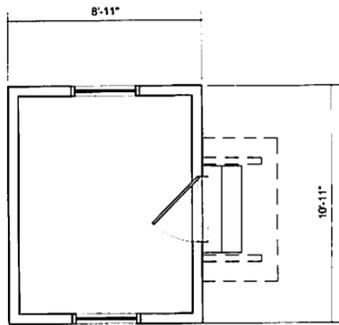


DRAWING ISSUES
SULLIVAN'S ISLAND DRB SUBMITTAL 08.19.2016

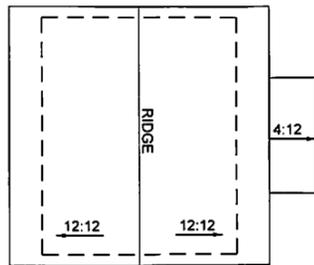
PROJECT TITLE
Phillips Ancillary Structures
2612 Jasper Blvd
Sullivan's Island, SC 29482

DRAWING NAME
GARAGE PLANS/ ELEVATIONS
PROJECT NO
1608

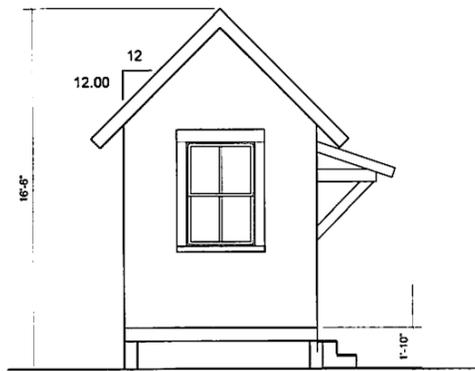
SHEET NUMBER
A111



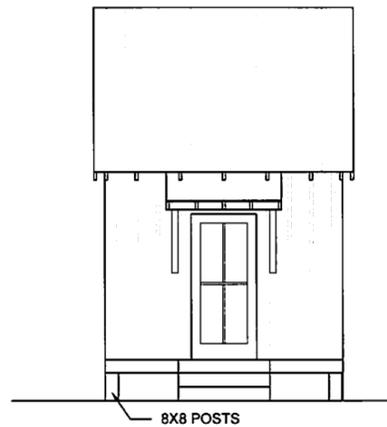
E1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



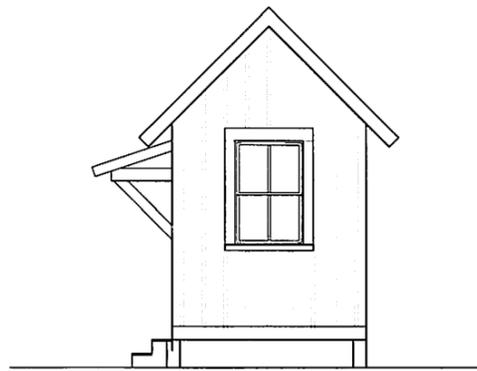
E4 ROOF PLAN
SCALE: 1/4" = 1'-0"



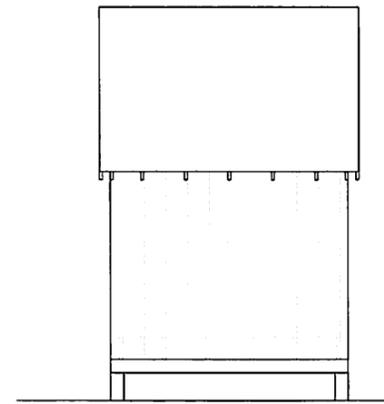
C1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



C4 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

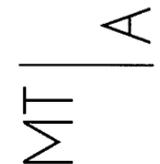


C6 WEST ELEVATION
SCALE: 1/4" = 1'-0"



C8 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

MYLES TRUDELL ARCHITECT LLC
12 STRATFORD ROAD
CHARLESTON, SC 29407
843.276.0317
www.mylestrudell.com



DRAWING ISSUES
SULLIVAN'S ISLAND DRB SUBMITTAL 08.19.2016

PROJECT TITLE
Phillips Ancillary Structures
2612 Jasper Blvd
Sullivan's Island, SC 29482

DRAWING NAME
POOL STRUCTURE PLANS/ELEVATIONS
PROJECT NO
1608

SHEET NUMBER
A112



1 VIEWS FROM JASPER BLVD



VIEWS FROM MYRTLE AVE ENTRY; GARAGE LOCATION



A6 VIEWS FROM MYRTLE AVE ENTRY

MYLES TRUDELL ARCHITECT LLC
 12 STRATFORD ROAD
 CHARLESTON, SC 29407
 843.276.0317
 www.mylestrudell.com

MT | A

DRAWING ISSUES
 SULLIVAN'S ISLAND DRE SUBMITTAL 08.19.2016

PROJECT TITLE

Phillips Ancillary Structures
 2612 Jasper Blvd
 Sullivan's Island, SC 29482

DRAWING NAME
EXISTING PHOTOS
 PROJECT NO.
 1608
 SHEET NUMBER

A701

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2301 Atlantic Ave

Submittal Date 08/19/16

Meeting Date: 09/21/16

BREAKDOWN OF LOT COVERAGES

| Lot Information: | |
|------------------------------------|------------------|
| Total Lot Size in Square Feet: | <u>22,544</u> sf |
| Lot Width: | <u>107'</u> |
| Lot Depth: | <u>210'</u> |
| Flood Zone / Base Flood Elevation: | <u>VE 17</u> |

| Sec. 21-25 Principal Building Coverage Area | |
|---|-----------------|
| Principal Building Footprint: | <u>3,885</u> sf |
| Accessory Building Footprint: | <u>N/A</u> sf |
| <hr/> | |
| Total Principal Bldg. Coverage Area: | <u>3,885</u> sf |
| (Principal Building plus Accessory Structure) | |

| Sec. 21-26 Impervious Coverage | |
|----------------------------------|-----------------|
| Principal Building Coverage Area | <u>3,382</u> sf |
| Covered Porches: | <u>1,660</u> sf |
| Open Decks / Steps: | <u>120</u> sf |
| Pool / Patio: | <u>520</u> sf |
| Drives / Walks: | _____ sf |
| Other Impervious Coverage | _____ sf |
| Total Impervious Coverage | <u>6,185</u> sf |

| Sec. 21-27 Principal Building Square Footage | |
|---|-----------------|
| First Floor | <u>3,885</u> sf |
| Second Floor | <u>420</u> sf |
| Third Floor | <u>N/A</u> sf |
| Accessory Building | <u>N/A</u> sf |
| <hr/> | |
| Total Principal Building Square Footage: | <u>4,305</u> sf |
| (Principal Building plus Accessory Structure) | |

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

| | |
|-----------------------------------|---------------------------|
| Foundation: <u>Pres + louvers</u> | Roof: <u>metal</u> |
| Walls: <u>lapped siding</u> | Windows: <u>clad wood</u> |
| Trim: <u>wood</u> | Doors: <u>wood</u> |

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply) Narrative attached Will discuss at presentation Not Applicable (no relief req.)

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address: 2301 Atlantic

Submittal Date: 8.19.16

Meeting Date: 9.21.16

| | | Zoning Ordinance Reference Section | Zoning Standard | ✓ if meets standard | DRB's Max. Authority for Relief | Applicant's Request for Relief in Ft / Sq. Ft. | Percent (%) Relief Requested | Total Allowed + Requested Relief (SF) |
|-------------------------|---|--|---|---------------------|---|--|------------------------------|---------------------------------------|
| SETBACKS | A | 21-22 Front Setback | 25 feet | ✓ | 15% (3.75') | | | |
| | B | 21-22 Additional Front Yard Setback | 45° above 20' | ✓ | 15% | | | |
| | C | 21-22 Side Setback | Per lot; Enter Result: <u>16</u> min.; <u>40</u> comb. | | 25% | 2' | 5% | 38' |
| | D | 21-22 Side Setback 2nd Floor Setback | 2 feet | ✓ | 100% | | | |
| | E | 21-22 Rear Setback | 25 feet | ✓ | None | | | |
| LOT COVERAGE | F | 21-25 Principal Building Coverage | as per formula: Enter Result <u>3382</u> sf | | 20% <u>777</u> sf | 550 | 16 | 3,932 |
| | G | 21-26 Impervious Coverage | as per formula: Enter Result <u>30%</u> sf maximum | ✓ | N/A | N/A | N/A | N/A |
| | H | 21-27 Principal Building Square Footage | as per formula: Enter Result <u>4,154</u> sf | | 25% <u>1,039</u> sf | 200 | 4% | 4,354 |
| | I | 21-28 Third Story | as per formula: Enter Result _____ sf | ✓ | 15% _____ sf | | | |
| DESIGN STANDARDS | J | 21-29 Principal Building Front Façade | as per formula: Enter Result _____ sf | ✓ | 100% | | | |
| | K | 21-29 Principal Building Side Façade | as per formula: Enter Result _____ sf | ✓ | 100% | | | |
| | L | 21-30 Building Orientation | Towards ocean, excluding marsh and ocean lots | ✓ | Adjust for Neighborhood Compatibility | | | |
| | M | 21-30 Bldg. Foundation Height | 3 feet above Base Flood Elev. To Finished First Floor | ✓ | 1 foot | | | |
| | N | 21-32 Foundation Enclosure | Check Ordinance | ✓ | Adjust for Neighborhood Compatibility | | | |
| | O | 21-34 Site Lighting | Check Ordinance | ✓ | Adjust for Neighborhood Compatibility | | | |

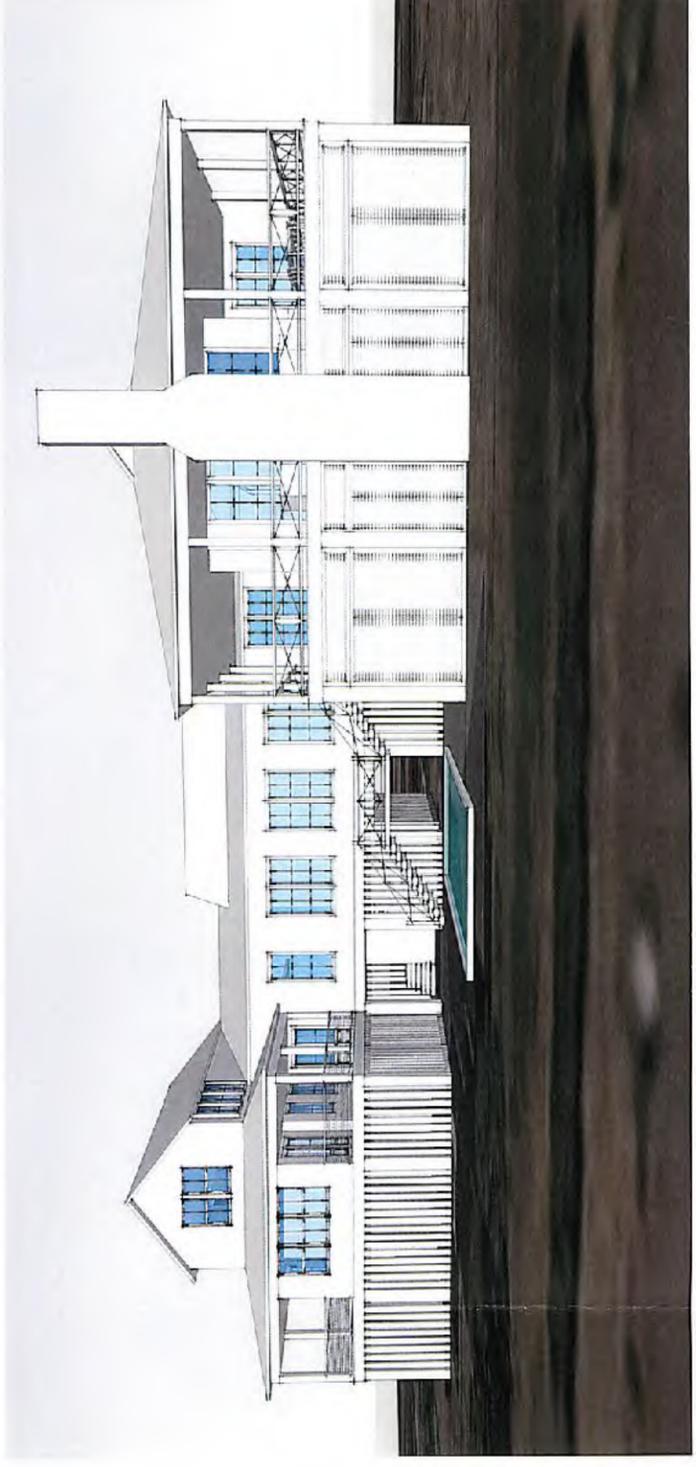


INDEX

3D MODEL IMAGES

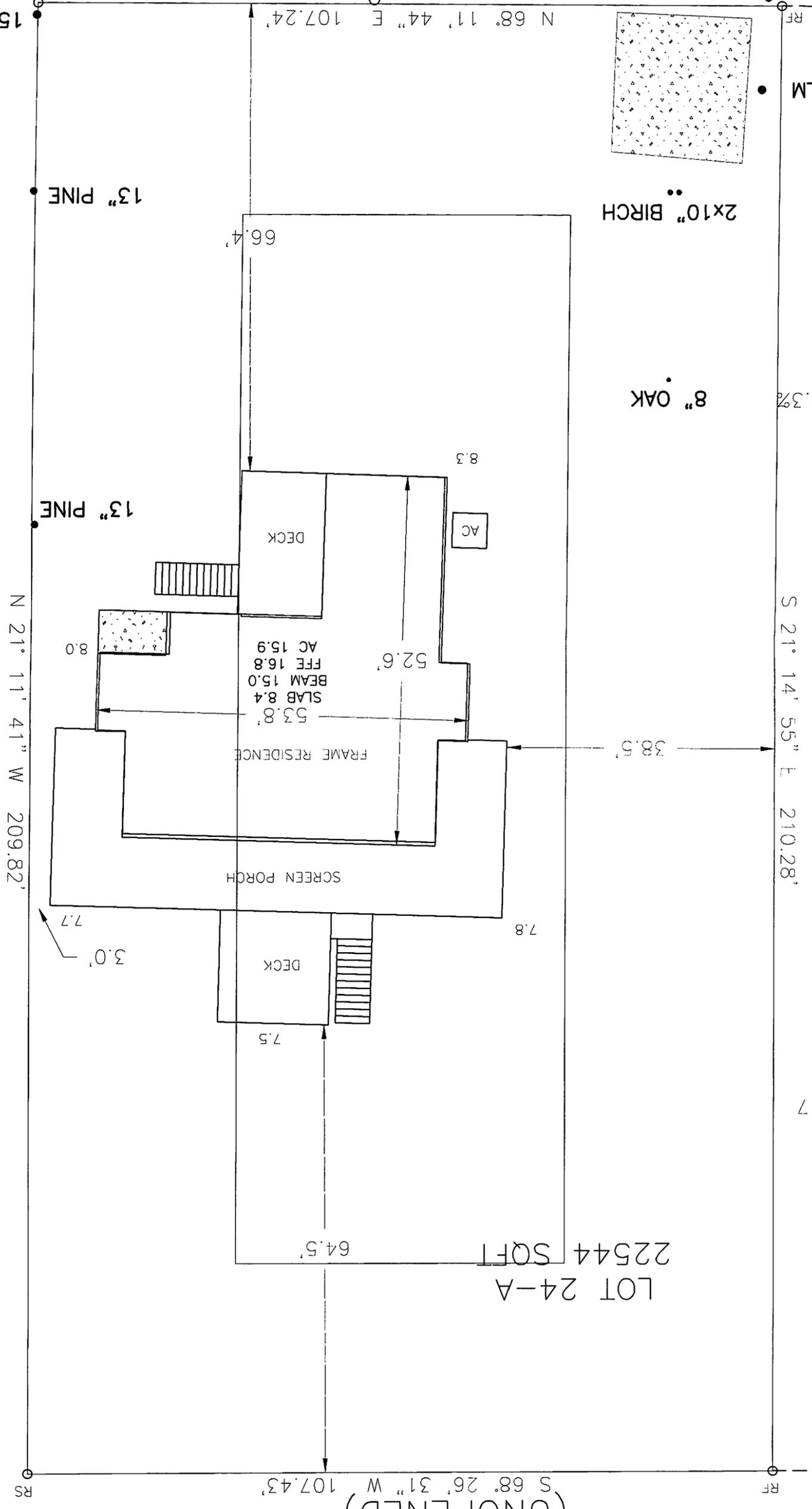
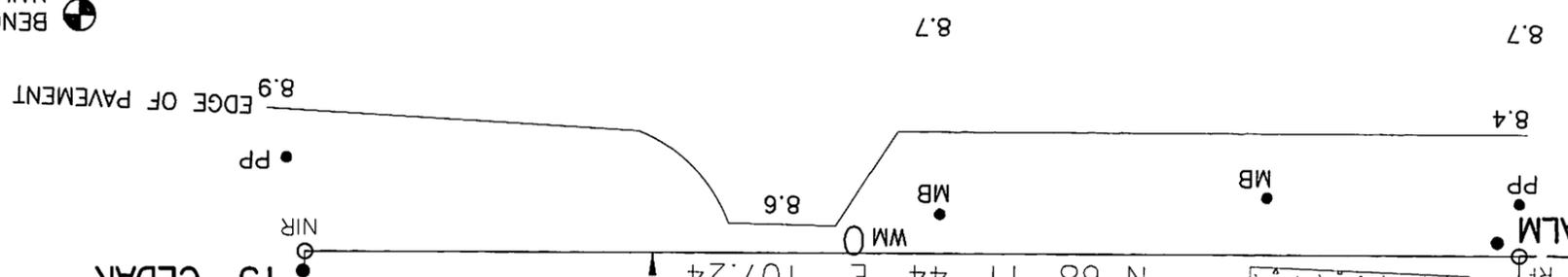
| | |
|------|---------------------------|
| S1 | EXISTING SURVEY |
| S2 | PROPOSED SITE PLAN |
| S3 | PROPOSED SITE INFORMATION |
| S4 | STREET STUDY / PANORAMA |
| | |
| A1.0 | GROUND FLOOR PLAN |
| A1.1 | FIRST FLOOR PLAN |
| A1.2 | SECOND FLOOR PLAN |
| A1.3 | ROOF PLAN |
| | |
| A2.1 | WEST ELEVATION |
| A2.2 | SOUTH ELEVATION |
| A2.3 | EAST ELEVATION |
| A2.4 | NORTH ELEVATION |
| | |
| A3.1 | SECTION / ELEVATION E |
| A3.2 | SECTION / ELEVATION F |
| A3.3 | SECTION / ELEVATION G |
| A3.4 | SECTION / ELEVATION H |
| A3.5 | SECTION / ELEVATION J |





BENCH MARK
NAIL @ PL
ELEV 9.10

STATION 23 40' R/W (UNOPENED)



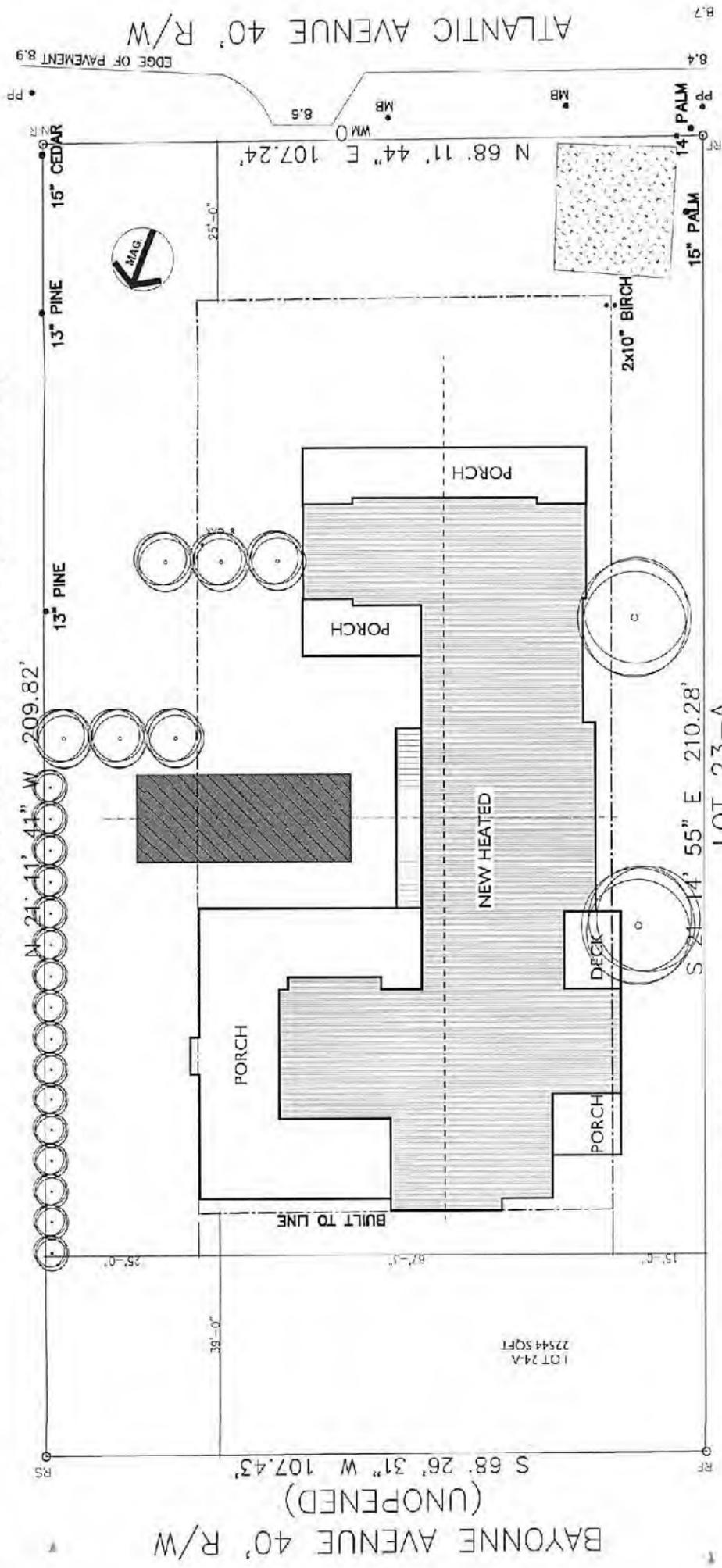
0 FT
2 SOFT 8.3%
.2%
2%
6%
T 2%

-00-058
AT BOOK
E ELEV 17
-0539-J

OUND

ELEV 9.10

STATION 23 40' R/W (UNOPENED)



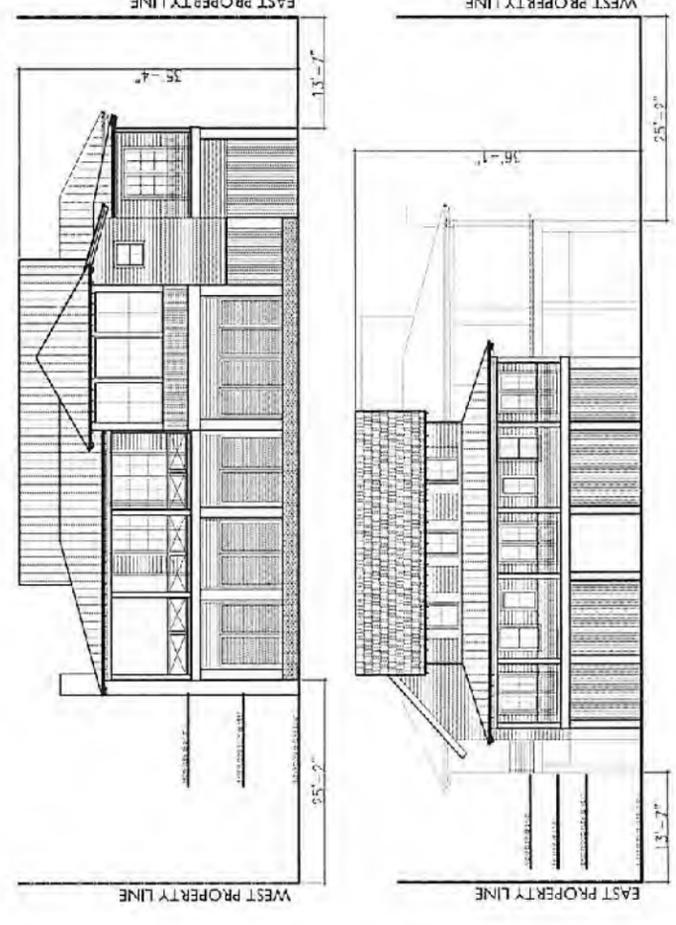
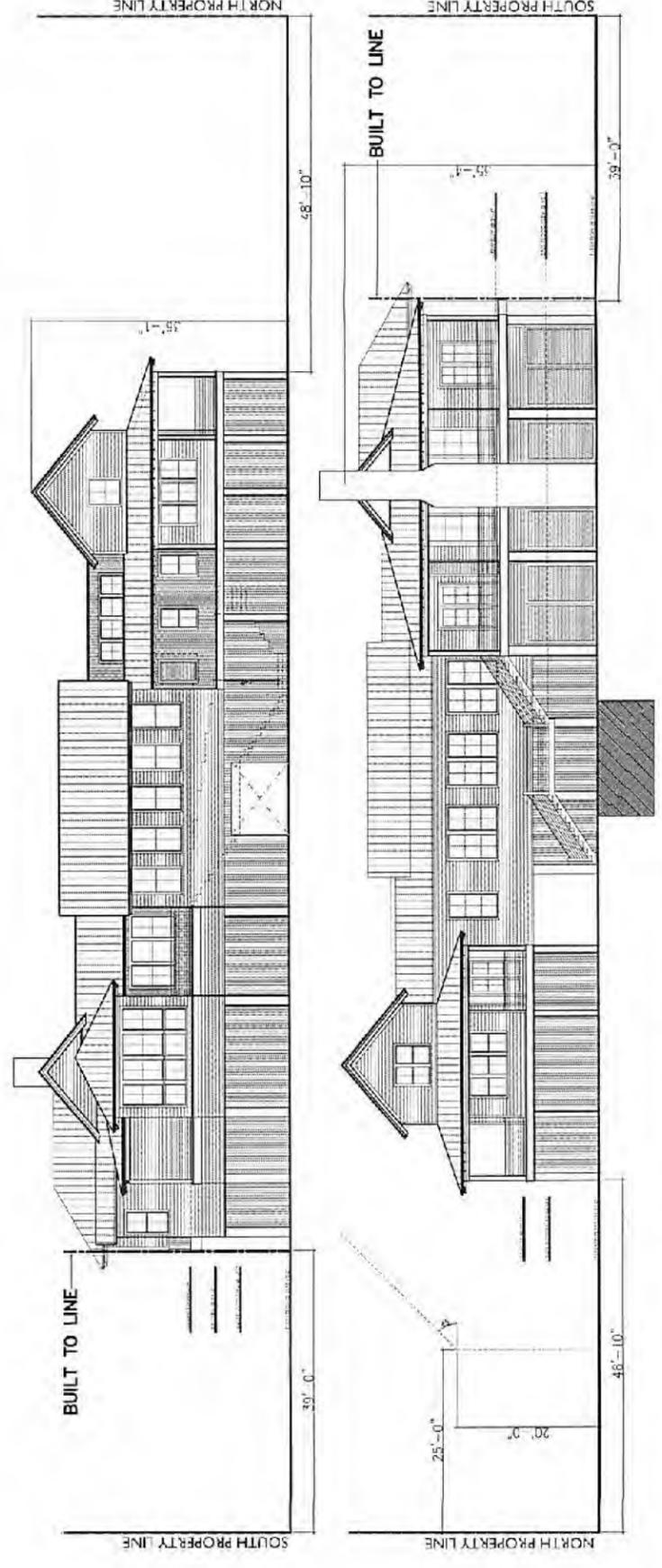
TMS # 329-10-00-058
FLOOD ZONE VE 17

| AREA CALCULATIONS | |
|-------------------------|-------------|
| lot area | 72,544 s.f. |
| first floor | 3,885 s.f. |
| principal bldg coverage | 3,885 s.f. |
| deck porch | 1,120 s.f. |
| front porch | 540 s.f. |
| stairs | 120 s.f. |
| pool and coping | 520 s.f. |
| impermeous coverage | 6,185 s.f. |
| first floor | 3,885 s.f. |
| second floor | 470 s.f. |
| principal bldg area | 4,355 s.f. |

principal building coverage permitted = 22,544 x .15
principal building coverage permitted = 3,382 s.f.
impermeous coverage area permitted = 22,544 x .30
impermeous coverage area permitted = 6,763 s.f.
principal building area permitted = 02,544-50000/(10-2400)
principal building area permitted = 1,154 s.f.

front and rear setback = 25'
side setback = 10' total w/a min of 15'

PROPOSED SITE INFORMATION



DRB REVIEW: 09.21.15



2319 ATLANTIC AVE.

2313 ATLANTIC AVE.

2307 ATLANTIC AVE.

2301 ATLANTIC AVE.

BEACH ACCESS

2269 ATLANTIC AVE.

2263 ATLANTIC AVE.

ATLANTIC AVENUE PANORAMA



2320 ATLANTIC AVE.

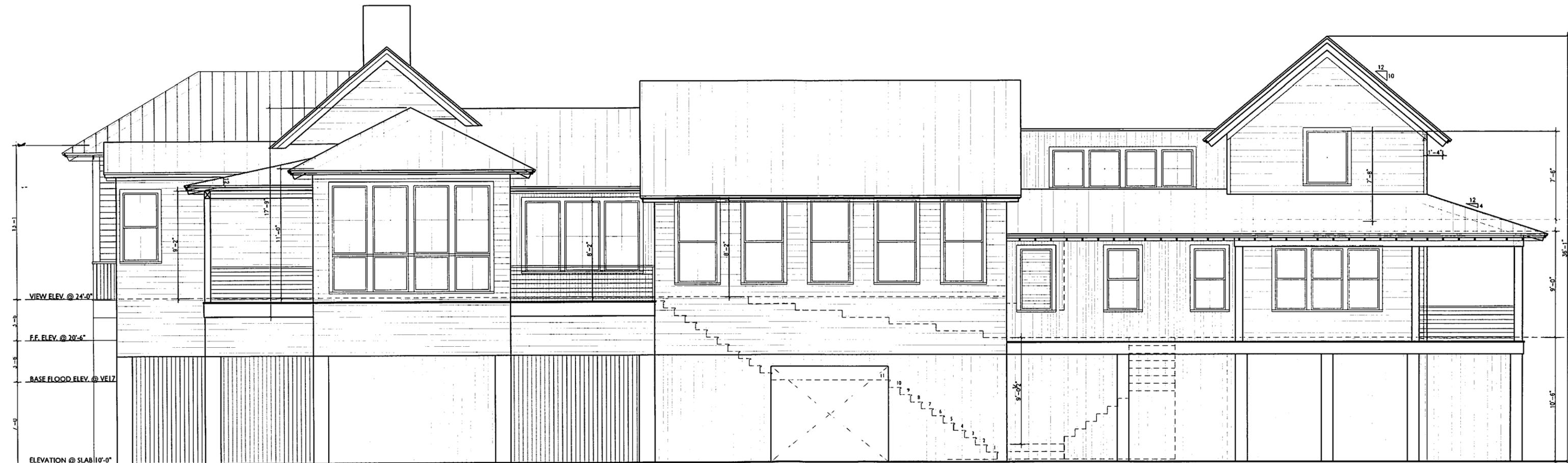
2313 ION AVE.

STATION 23

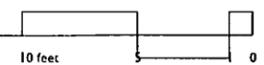
2263 ATLANTIC AVE.

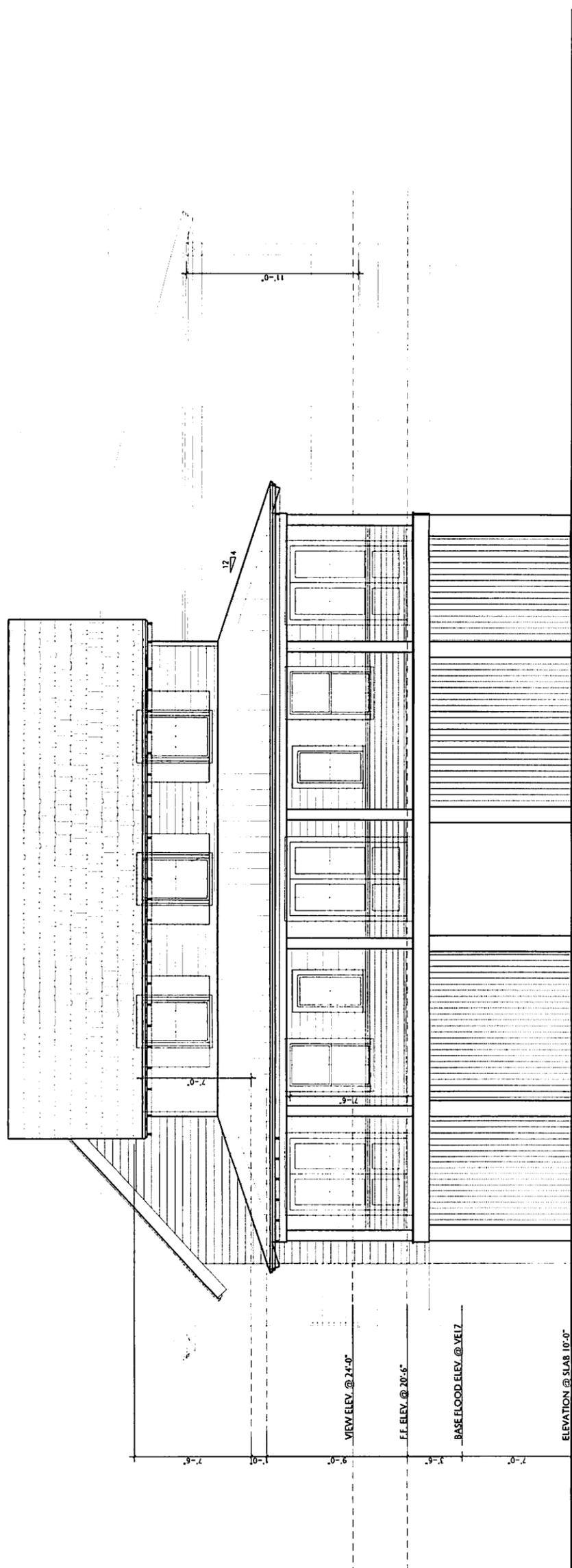
2256 ATLANTIC AVE.

2250 ATLANTIC AVE.



A. WEST ELEVATION





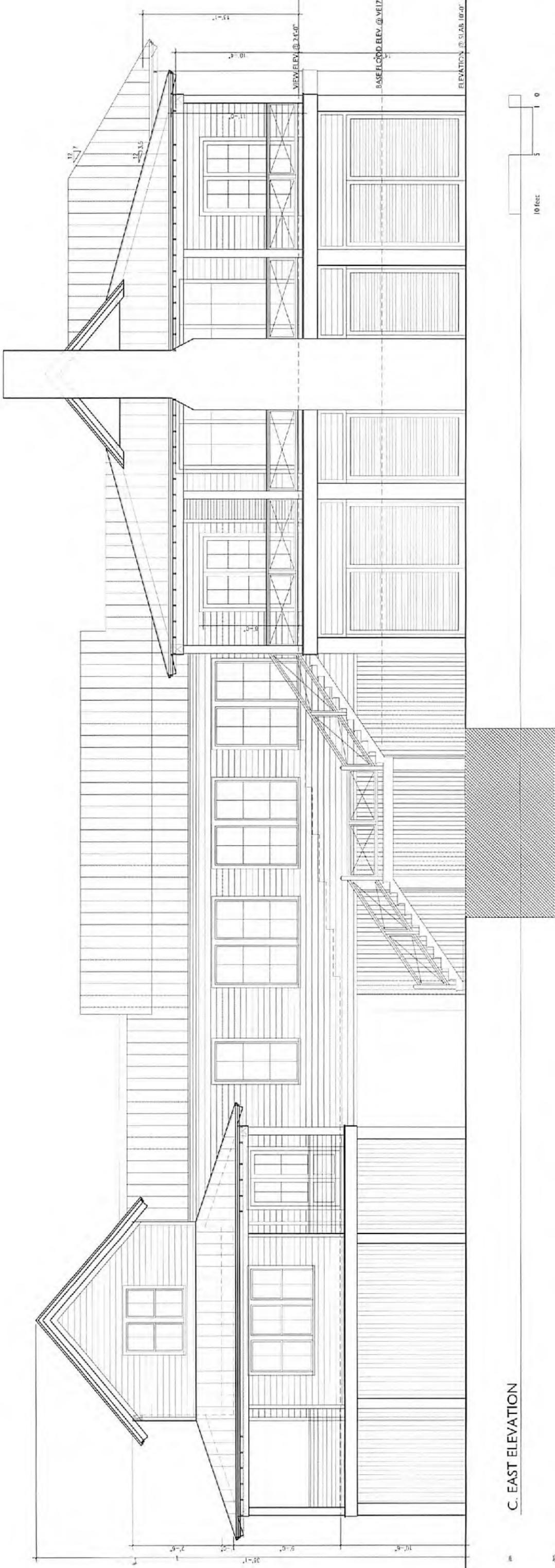
B. SOUTH ELEVATION

DRB REVIEW: 09.21.16

JOHNSON RESIDENCE . 2301 ATLANTIC AVENUE . SULLIVAN'S ISLAND, SC 29482

heather a wilson, architect . 734 pitt street mount pleasant, south carolina 29464 843.814.2031

A2.2
SOUTH ELEVATION



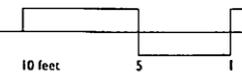
C. EAST ELEVATION

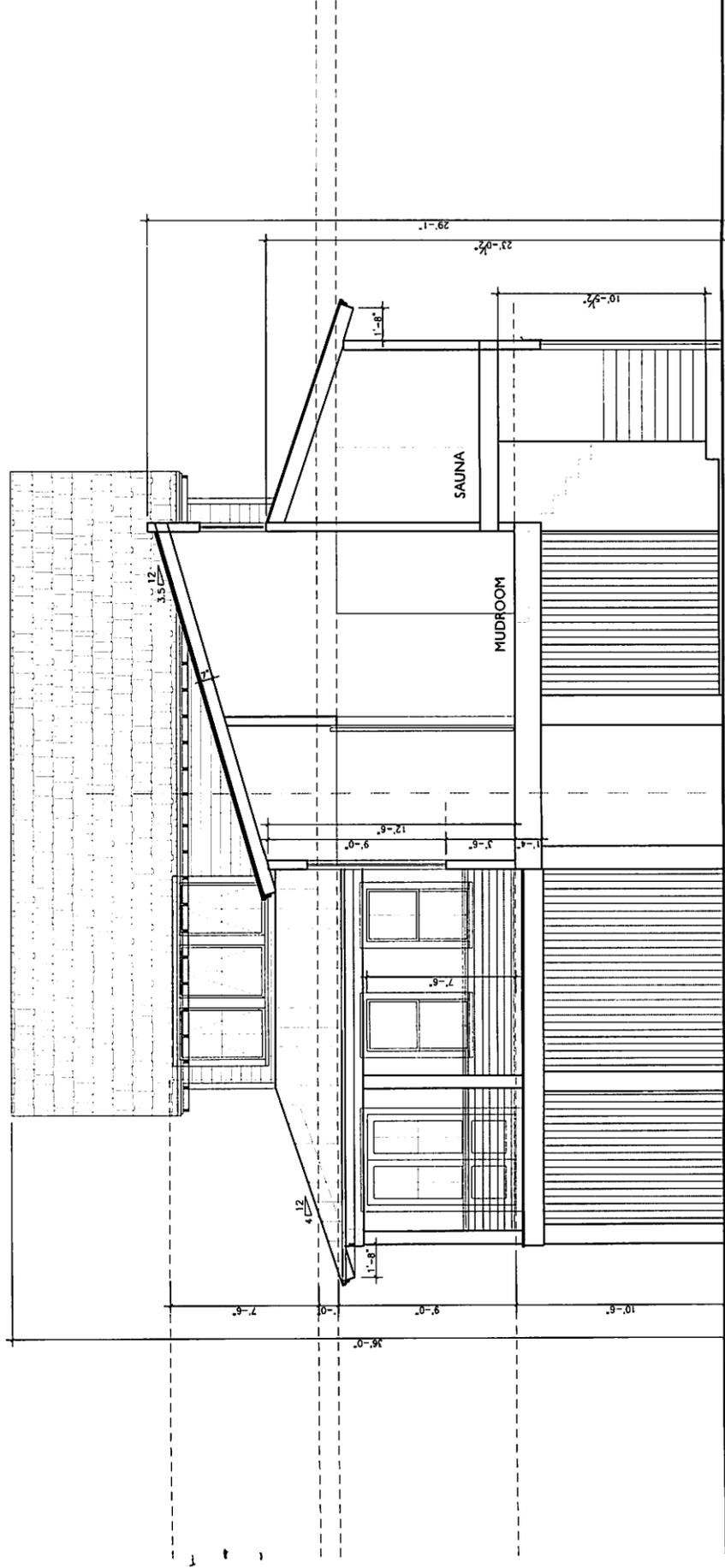


DRB REVIEW: 09.21.16

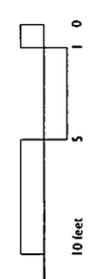


D. NORTH ELEVATION



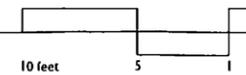


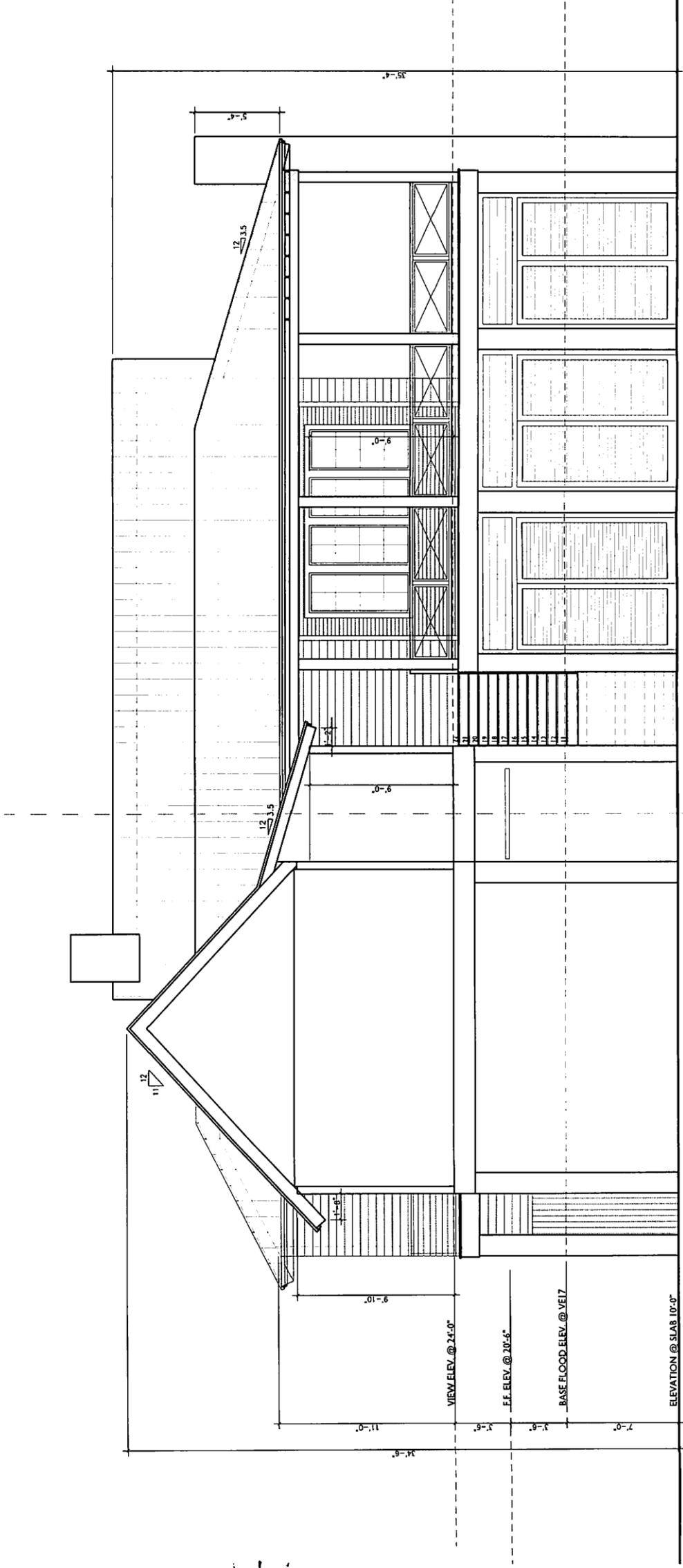
E. SECTION / ELEVATION



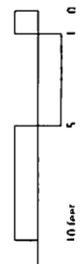


F. SECTION / ELEVATION





G. SECTION / ELEVATION



DRB REVIEW: 09.21.16

JOHNSON RESIDENCE . 2301 ATLANTIC AVENUE . SULLIVAN'S ISLAND, SC 29482

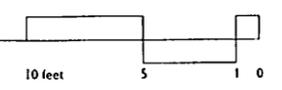
A3.3

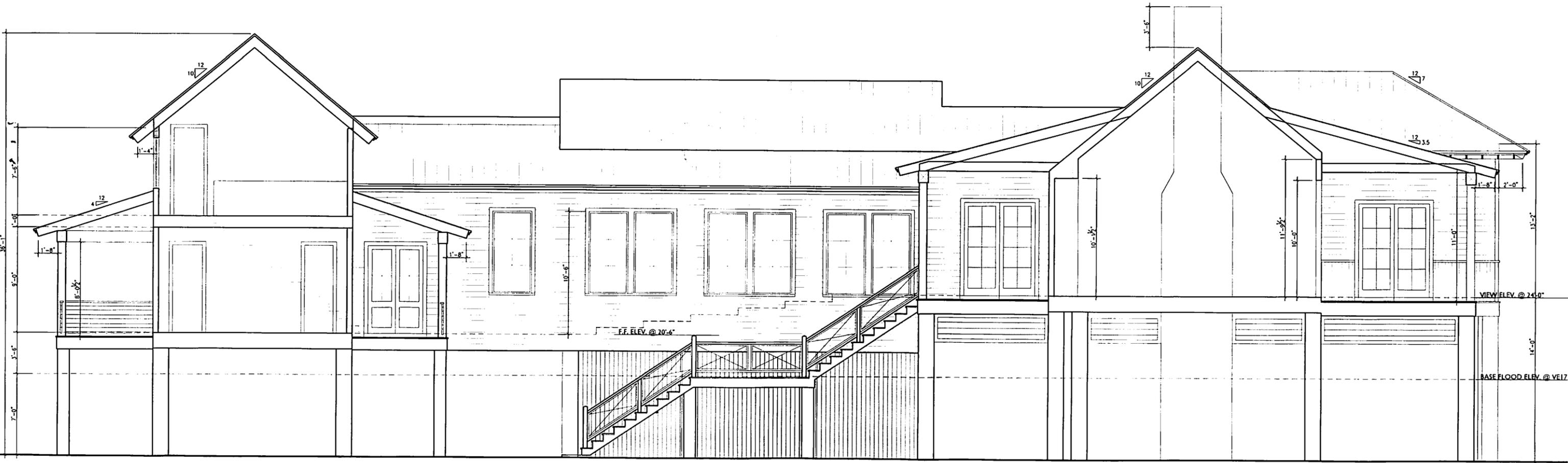
SECTION / ELEVATION G

heather a wilson, architect . 734 pitt street mount-pleasant, south carolina 29464 843.814.2031

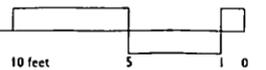


H. SECTION / ELEVATION





J. EAST ELEVATION



**APPLICATION
TO SULLIVAN'S ISLAND DESIGN REVIEW BOARD**

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

(FORM A)

Project Address: 2123B MIDDLE ST
 Submittal Date: 8.19.16
 Meeting Date: 9.21.16 Parcel I.D. (TMS#): 529-09-00-117(B)

Requested Approval (check ONE) Conceptual Preliminary Final

Check one:

| | | |
|--|--|---|
| <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Submittal is outside the Historic District, not classified historic, and requests DRB relief. | Submittal is within the Historic District and is: | Submittal is outside the Historic District and |
| | _____ designated as Historic Resource | _____ designated as Historic Resource |
| | _____ not designated as Historic Resource | |
| | Historic Survey #: _____ | Historic Survey #: _____ |

Nature of Work: (circle all that apply)

Accessory Structure Demolition / Relocation Addition / Alteration New Construction

| | |
|--------------------|--|
| Owner's Name _____ | Architect / Designer: <u>DAN SWEENEY</u> |
| Address: _____ | Contact #: <u>843.708.2537</u> |
| _____ | email: <u>dan@stomphouse.com</u> |
| email: _____ | Contractor: _____ |
| Contact #: _____ | Contact #: _____ |
| | email: _____ |

Enter a Brief Description of the Project and Scope of Work to be Performed:

33 SF addition onto front of building
adjust fence line in front
re-clad the building exterior
new walk in refrigerator within existing rear fence area

| | | |
|--|--|-----------------------|
| I (We) submit that the above information is true to the best of My (Our) knowledge. <u>DAN SWEENEY</u> Print Applicant's Name <u>Dan Sweeney</u> Applicant Signature | Owner is not Applicant: I (We) hereby appoint the person named as Applicant as My (Our) agent to represent Me (Us) in this application. | Fee Received by _____ |
| | Owner's Signature _____ | check # _____ |

REQUEST FOR REVIEW FORM (FORM B)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address 2123 B MIDDLE STREET

Submittal Date 8.19.16

Meeting Date: 9.21.16

BREAKDOWN OF LOT COVERAGES

Lot Information:

Total Lot Size in Square Feet: 23100 sf
Lot Width: 220
Lot Depth: 105
Flood Zone / Base Flood Elevation: _____

Sec. 21-25 Principal Building Coverage Area

Principal Building Footprint: 4196.5 sf
#2 BUILDING (High Tyme) 2755.2 sf
Accessory Building Footprint: 657.0 sf
Dentist →
Total Principal Bldg. Coverage Area: 7608.7 sf
(Principal Building plus Accessory Structure)

Sec. 21-26 Impervious Coverage

Principal Building Coverage Area 7608.7 sf
Covered Porches: 751.2 sf
Open Decks / Steps: 120 sf
Pool / Patio: 303 sf
Drives / Walks: 1100 sf
Other Impervious Coverage _____ sf
Total Impervious Coverage 9882.9 sf

Sec. 21-27 Principal Building Square Footage

First Floor 4196.5 sf
Second Floor _____ sf
Third Floor _____ sf
Accessory Building _____ sf
Total Principal Building Square Footage: 4196.5 sf
(Principal Building plus Accessory Structure)

EXTERIOR MATERIALS

(REQUIRED FOR PRELIMINARY AND FINAL SUBMITTALS ONLY)

* REQUIRED FOR ALL PROJECTS WITHIN HISTORIC DISTRICT AND / OR THOSE HOMES DESIGNATED HISTORIC OUTSIDE OF THE HISTORIC DISTRICT

Foundation: SLAB ON GRADE

Roof: ROLLED MEMBRANE

Walls: PAINTED CLAPBOARD

Windows: WOOD SINGLE HUNG

Trim: WOOD

Doors: WOOD / STOREFRONT

Sec. 21-111 Standards of Neighborhood Compatibility

NOTE: Particular attention will be paid to the Standards of Neighborhood Compatibility. Please include a narrative addressing these standards and be prepared to address in depth at presentation. The narrative and presentation should reference the attached outline of the Standards for Neighborhood Compatibility.

(check all that apply)

Narrative attached

Will discuss at presentation

Not Applicable (no relief req.)

ZONING STANDARDS COMPLIANCE WORKSHEET (FORM C)

Sullivan's Island Design Review Board

2050-B Middle St. • PO Box 427 • Sullivan's Island, SC • 29482 • (843) 883-3198

Project Address:

2123 B MIDDLE STREET

Submittal Date:

8.19.16

Meeting Date:

9.21.16

| | Zoning Ordinance Reference Section | Zoning Standard | ✓ if meets standard | DRB's Max. Authority for Relief | Applicant's Request for Relief in Ft./ Sq. Ft. | Percent (%) Relief Requested | Total Allowed + Requested Relief (SF) |
|-------------------------|------------------------------------|--|---|---------------------------------|--|------------------------------|---------------------------------------|
| SETBACKS | A | 21-22 Front Setback | | 15% (3.75') | | | |
| | B | 21-22 Additional Front Yard Setback | | 15% | | | |
| | C | 21-22 Side Setback | Per lot; Enter Result: ____min.; ____comb. | ✓ | 25% | | |
| | D | 21-22 Side Setback 2nd Floor Setback | 2 feet | ✓ | 100% | | |
| | E | 21-22 Rear Setback | 25 feet | ✓ | None | | |
| LOT COVERAGE | F | 21-25 Principal Building Coverage | as per formula: Enter Result <u>7608.7</u> sf | | 20% _____sf | | |
| | G | 21-26 Impervious Coverage | as per formula: Enter Result <u>30%</u> sf maximum | ✓ | N/A | N/A | N/A |
| | H | 21-27 Principal Building Square Footage | as per formula: Enter Result _____sf | | 25% _____sf | | |
| | I | 21-28 Third Story | as per formula: Enter Result _____sf | N/A | 15% _____sf | | |
| DESIGN STANDARDS | J | 21-29 Principal Building Front Façade | as per formula: Enter Result _____sf | | 100% | | |
| | K | 21-29 Principal Building Side Façade | as per formula: Enter Result _____sf | | 100% | | |
| | L | 21-30 Building Orientation | Towards ocean, excluding marsh and ocean lots | | Adjust for Neighborhood Compatibility | | |
| | M | 21-30 Bldg. Foundation Height | 3 feet above Base Flood Elev. To Finished First Floor | | 1 foot | | |
| | N | 21-32 Foundation Enclosure | Check Ordinance | | Adjust for Neighborhood Compatibility | | |
| | O | 21-34 Site Lighting | Check Ordinance | | Adjust for Neighborhood Compatibility | | |



2 AERIAL SITE PHOTO
AC.1 N.T.S.

SCOPE OF WORK

- 39 SQUARE FOOT ADDITION ONTO EXISTING RESTAURANT.
- RECLADDING EXTERIOR WOOD.
- ADJUST FRONT FENCELINE
- NEW WALK IN REFRIGERATION WITHIN REAR FENCED AREA.

DRAWING INDEX

- A0.1 COVER SHEET
- A1.0 SITE PLAN
- A1.1 FLOOR PLAN - EXISTING
- A1.2 FLOOR PLAN - PROPOSED
- A2.1 ELEVATIONS - EXISTING & PROPOSED
- A2.2 ELEVATIONS - EXISTING & PROPOSED

PROJECT INFORMATION

PROJECT ADDRESS: 2213 MIDDLE STREET - UNIT B
SULLIVANS ISLAND, SC

CLIENT/TENANT: TACOMAMACITA LLC
CONTACT: TAYLOR MONEN
JANUS@TACOMAMACITA.COM
PH: 423 580 9705

ARCHITECT: STUMPHOUSE, LLC
P.O. BOX 20468
CHARLESTON, SC 29413
CONTACTS: DAN SWEENEY
DAN@STJMPHOUSE.COM
PH: 843 708 2537

CONTRACTOR: ?

CODE / ZONING INFORMATION

ZONING JURISDICTION: SULLIVANS ISLAND

ZONING INFORMATION: TMS # 529-09-00-117 (B)

ZONING CLASS: COM

APPLICABLE CODES: 2003 INTERNATIONAL BUILDING CODE

CONSTRUCTION CLASSIFICATION: TYPE V

(PER 502.5) - TYPE V CONSTRUCTION IS THAT TYPE OF CONSTRUCTION IN WHICH THE STRUCTURAL ELEMENTS, EXTERIOR WALLS AND INTERIOR WALLS ARE OF ANY MATERIAL PERMITTED BY THIS (2003 IBC) CODE.

USE: RESTAURANT (A-2) OCCUPANCY

| | |
|--------------|---------------------|
| ADDITION | 3106.5 SQ FT |
| | 33.0 SQ FT |
| TOTAL | 3220.5 SQ FT |

NO CHANGE TO OCCUPANT LOAD
CURRENT O.L. = 127

FIRE RESISTANCE RATING PER - TABLE 601:
MIN 1HR SEPARATION AT PARTY WALL

SPRINKLED: NO

TACO MAMACITA

2213 Middle Street
Unit B
Sullivans Island, SC

REVISIONS:

NOTES:

DRB SET

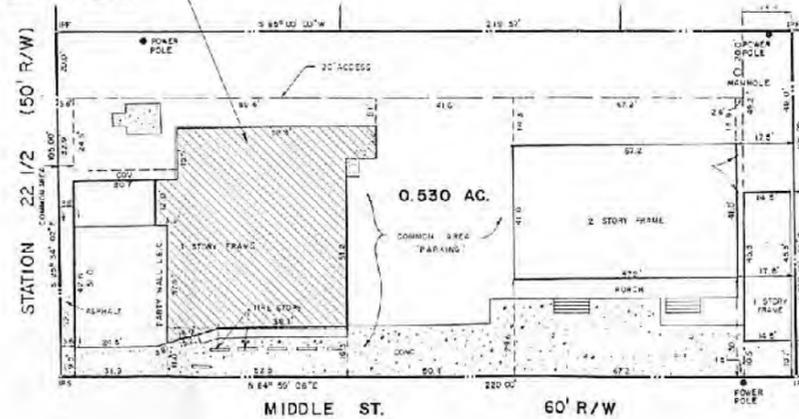
SEPT. 21 2016
MEETING

COVER SHEET

stumphouse
MANUFACTURE + DESIGN
P. O. Box 20468
Charleston, SC 29413

TMS: 529-09-00-117 (B)
FLOOD ZONE AE 15

1. T.M. 529-09-00-28
2. 1/4" DENOTES IRON P.P.S. (D.W.G.)
3. 1/8" DENOTES IRON PIPE SET.
4. OWNER OF THIS PROPERTY IS P.M.C. (A PARTNERSHIP).
5. REFERENCE DEED RECORDED IN 46-2100 PG. 4.
6. REFERENCE PLAT IN THE JOHN MCGEEY CO., CITED ABOVE, IS RECORDED IN BK. 544 PG. 545
7. AREA COVERED BY BUILDINGS = 4049 SQ. FT.
8. AREA OF OPEN SPACE = 14,392 SQ. FT.
9. 1/4" DENOTES LIMITED COMMON ELEMENTS.
10. TOTAL AREA = 18,441 SQUARE FEET.



1. I HEREBY CERTIFY THAT I AM A LICENSED SURVEYOR, GEORGE W. MCNEIL, AND THAT I HAVE PERSONALLY AND INDEPENDENTLY CONDUCTED THE SURVEY AND THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

FORWARD BY THE SURVEYOR TO THE
LOCAL RECORDING OFFICE



PLAT OF A 0.530 ACRE TRACT ON MIDDLE STREET

SULLIVANS ISLAND
CHARLESTON COUNTY SOUTH CAROLINA

1 SITE SURVEY
A0.1 N.T.S.

Scale: AS NOTED

Date: 18 AUG 2016

Job No. Drawing No.

A0.1

TACO MAMACI
 2213 Middle Street
 Unit B
 Sullivan's Island, SC

REVISIONS:

NOTES:
 AE IS FLOODZONE

SITE PLAN

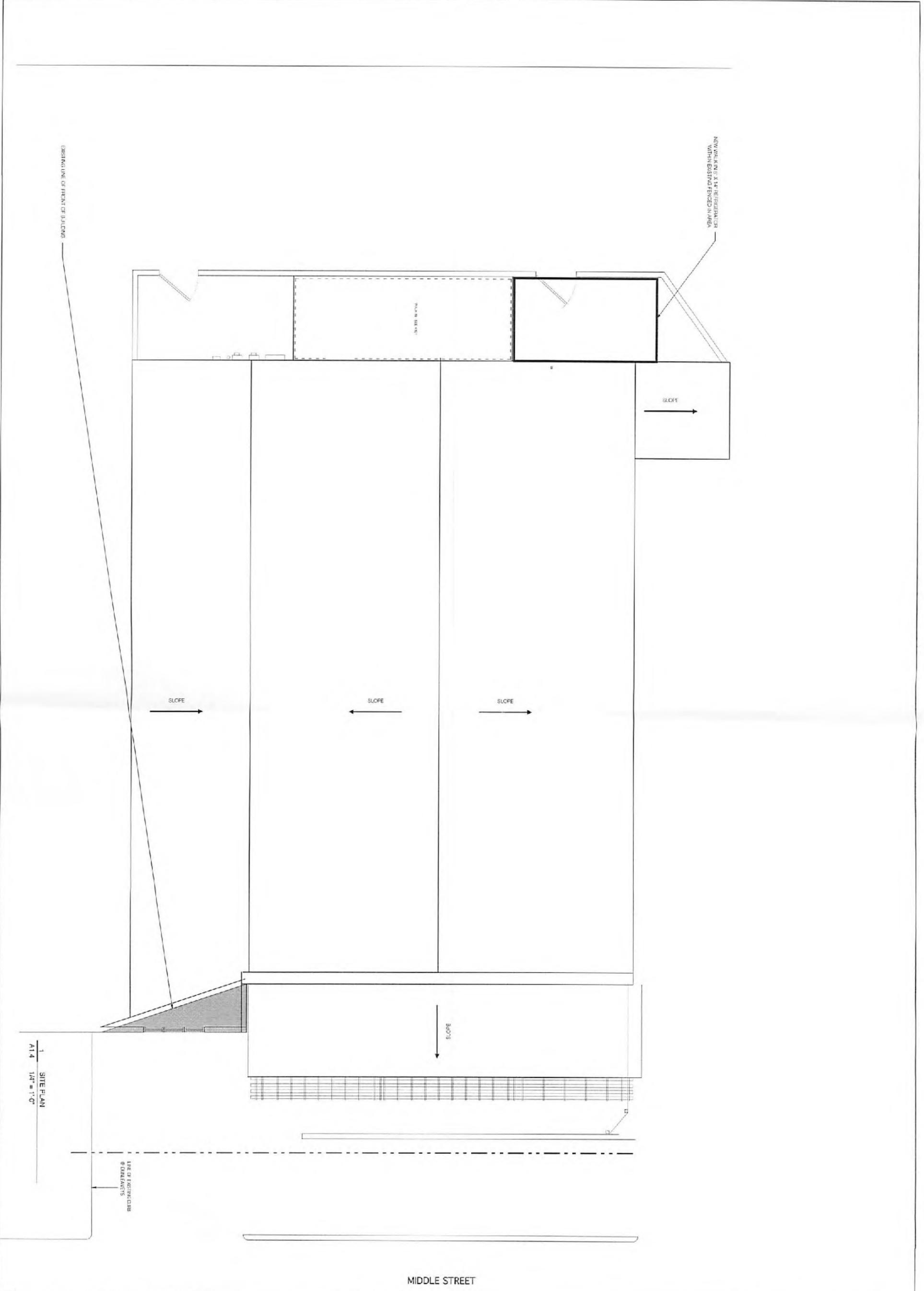
stumphouse
 ARCHITECTURE + DESIGN
 P. O. Box 20486
 Charleston, SC 29412

Scale: AS NOTED

Date: 18 AUG 2016

Job No. DRAWING No.

A1.0



MIDDLE STREET

TACO MAMACIT
 2213 Middle Street
 Unit B
 Sullivan's Island, SC

REVISIONS:

NOTES:

EXISTING PLAN

stumphouse
 ARCHITECTURE + DESIGN
 P. O. Box 204866
 Charleston, SC 29415

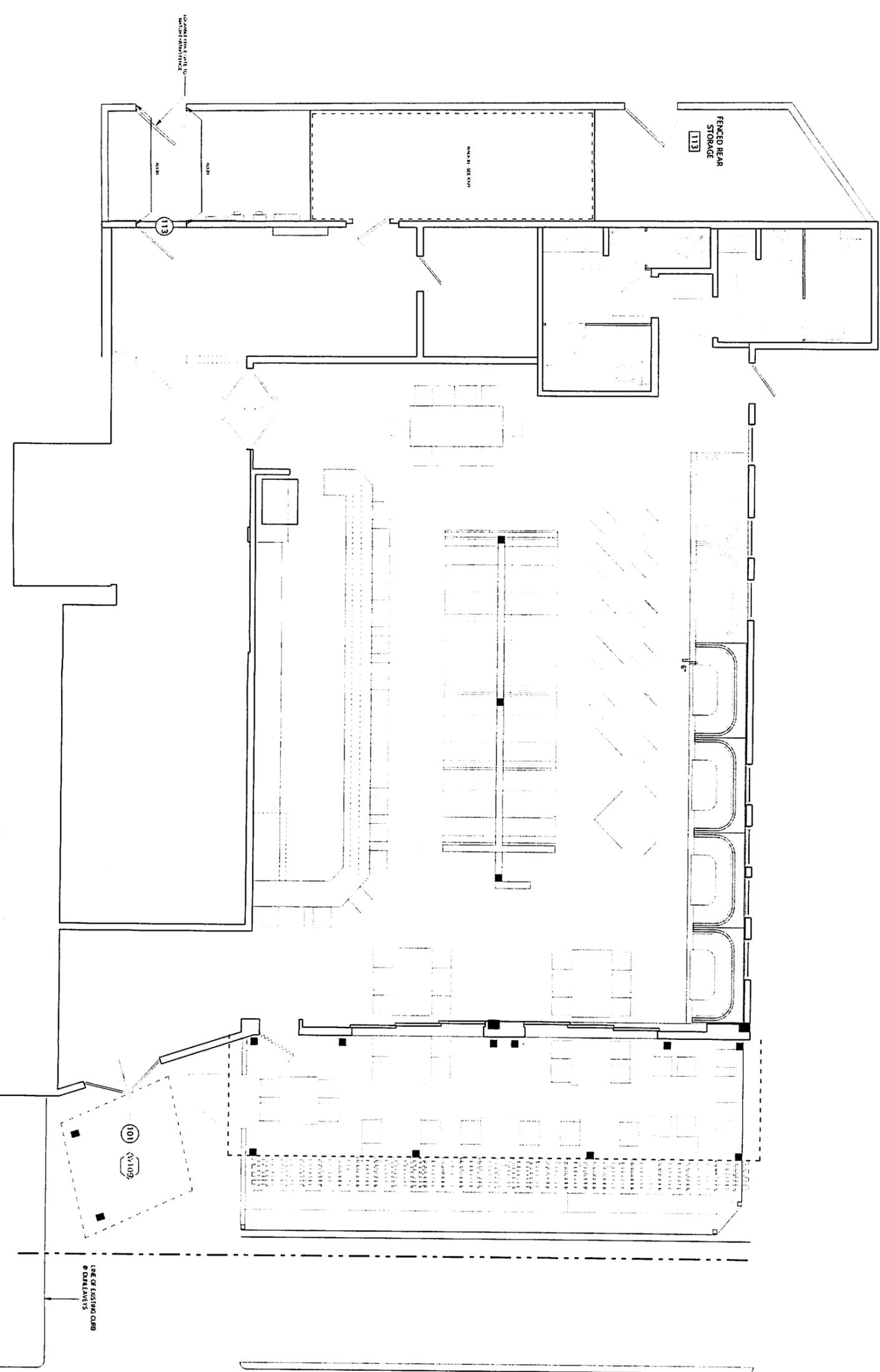
THIS DOCUMENT AND ITS CONTENTS ARE THE PROPERTY OF STUMPHOUSE ARCHITECTURE + DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF STUMPHOUSE ARCHITECTURE + DESIGN.

Scale: AS NOTED

Date: 18 AUG 2016

Job No. **A1.1**

MIDDLE STREET



1
 A1.4 EXISTING PLAN
 1/4" = 1'-0"

TACO MAMACITA
 2213 Middle Street
 Unit B
 Sullivan's Island, SC

REVISIONS:

NOTES:

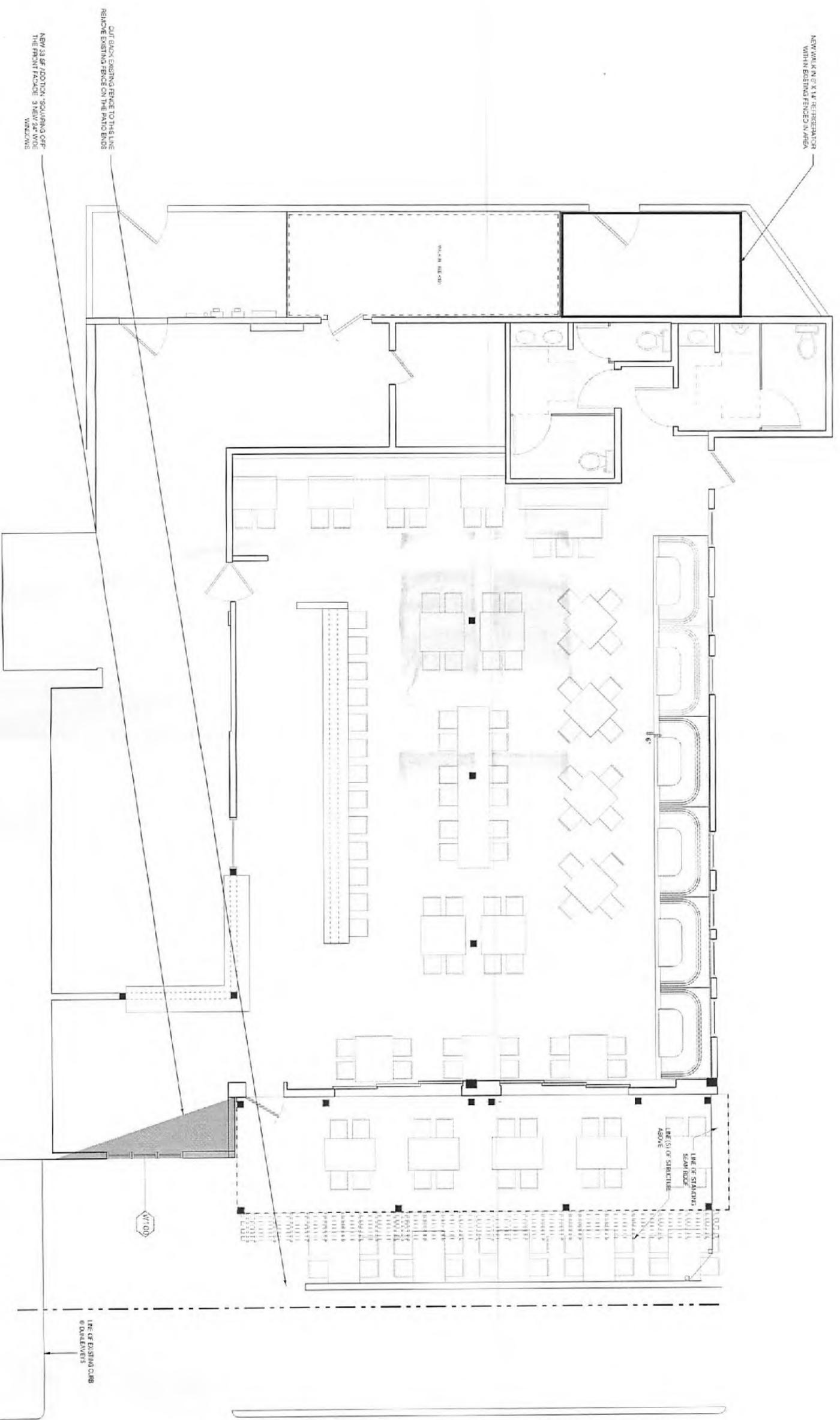
PROPOSED PLAN

stumpphouse
 P. O. Box 20436
 Charleston, SC 29418

Scale: AS NOTED
 Date: 18 AUG 2016

Job No. Drawing No. **A1.2**

MIDDLE STREET



1 PROPOSED PLAN
 A1.4 1/4" = 1'-0"

LINE OF EXISTING CURB & DOWNSPURS

LINE OF STAIRS
 SCAR FIDGE
 LINE(S) OF STRUCTURE ABOVE

WALK IN REFRIG

NEW WALK IN REFRIGERATOR WITHIN EXISTING FENCE IN AREA

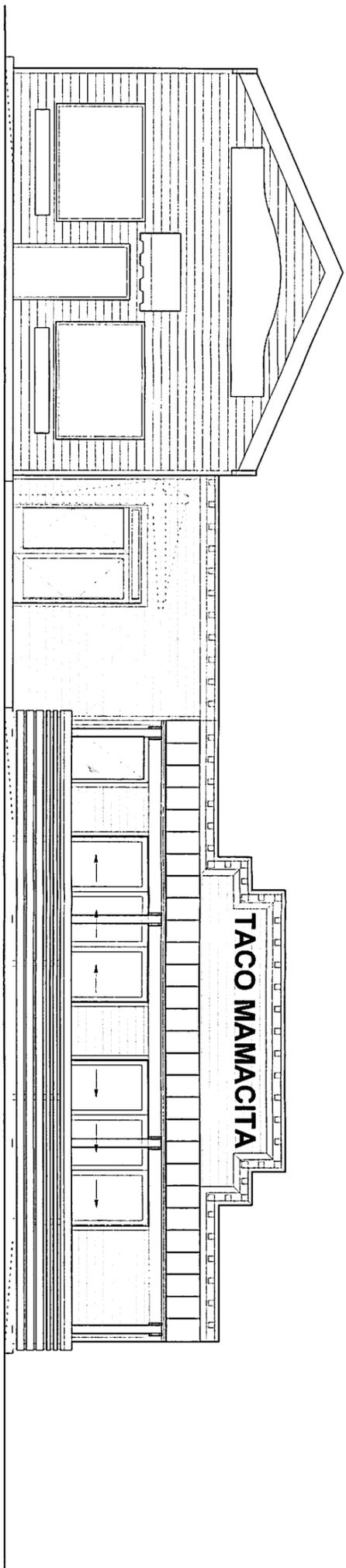
CUT BACK EXISTING FENCE TO THIS LINE REMOVE EXISTING FENCE ON THE PATIO BIDS

NEW 2x4 ADDITION - SQUARE OFF THE FRONT FACADE 3 NEW 24\"/>

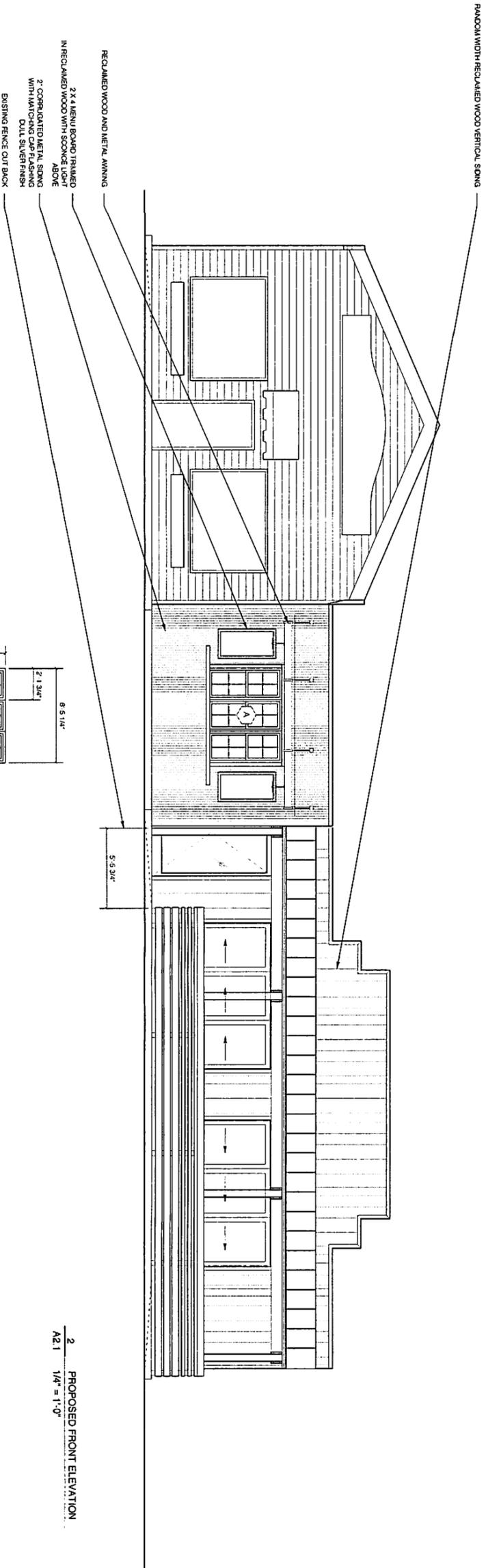
TACO MAMACITA
 2213 Middle Street
 Unit B
 Sullivan's Island, SC

REVISIONS:

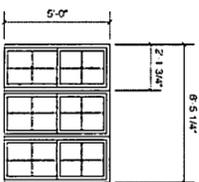
NOTES:



1 EXISTING FRONT ELEVATION
 A2.1 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION
 A2.1 1/4" = 1'-0"



FRONT
 ELEVATION

stumphouse
 ARCHITECTS
 P. O. Box 50486
 Charleston, SC 29413

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE PROPERTY OF STUMPHOUSE ARCHITECTS, P.C. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR OTHERWISE DISSEMINATED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF STUMPHOUSE ARCHITECTS, P.C. ANY UNAUTHORIZED USE OF THIS DRAWING IS STRICTLY PROHIBITED.

Scale: AS NOTED

Date: 18 AUG 2016

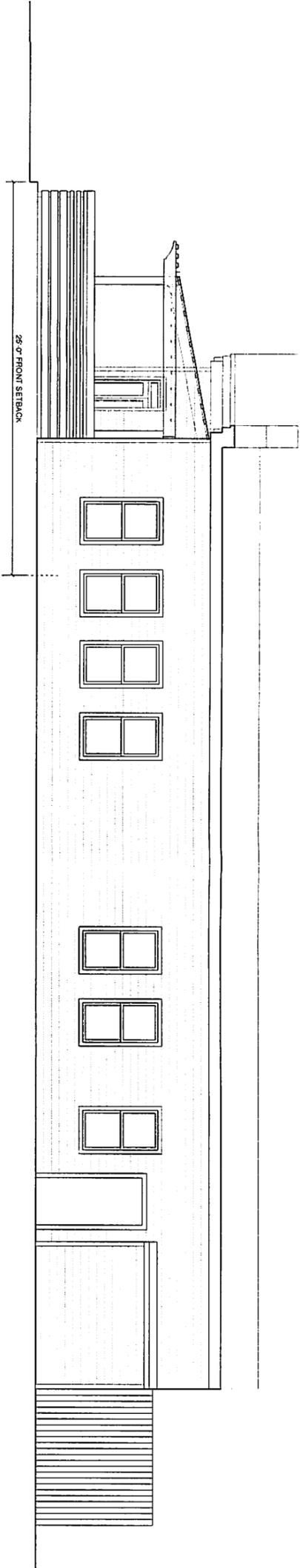
Job No. DRAWING No.

A2.1

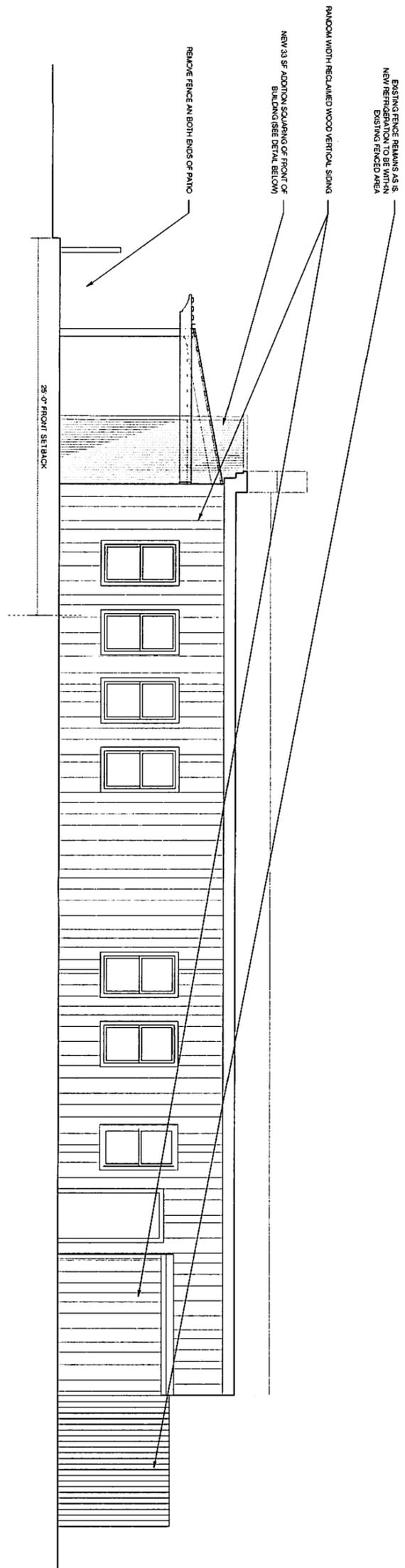
TACO MAMACITA
 2213 Middle Street
 Unit B
 Sullivan's Island, SC

REVISIONS:

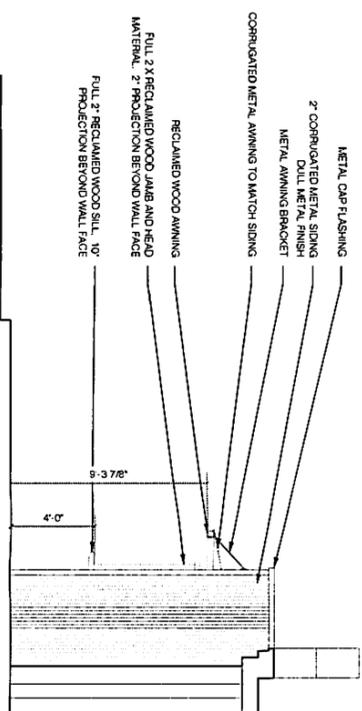
NOTES:



1 EXISTING SIDE ELEVATION
 A2.2 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION
 A2.2 1/4" = 1'-0"



SIDE ELEVATION

stumpphouse
 ARCHITECT + DESIGN
 P. O. Box 200486
 Charleston, SC 29413

UNLESS OTHERWISE SPECIFICALLY NOTED, THE MATERIALS, FINISHES, AND WORKMANSHIP SHOWN ON THESE DRAWINGS SHALL BE AS SHOWN ON THE SPECIFICATIONS AND SCHEDULES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

Scale: AS NOTED

Date: 18 AUG 2016

Job No. Drawing No.

A2.1